Lot 101 Stage 2 50 (Proposed) 0.1 116 (Proposed) 101 **∮**∙5 537m² 0.2 (Proposed) 102 (Proposed)

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.

 This plan shows details of Proposed Lot 101 on proposal plan BRSS7381-002-04-02
- Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7m1.0 ●

Denotes retaining wall average height

Denotes depth of fill

	Scale 1:300								
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	0m		10	15	20	25	20
Issue	Revision	Int Date	0m	5	10	15	20	25	30

BENNETT + BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 101 on SP355766

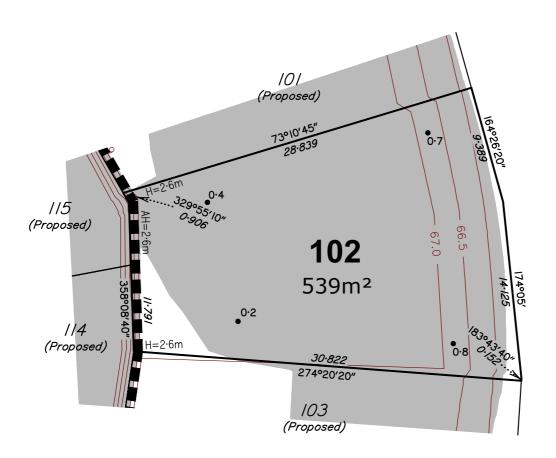
Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

Plan No:	160494 01	9 DIS				
Comp File:	160494.project					
Date Created:	29/01/2025	Scale:	1:300			
Surveyed By:		Approved:	JHH			
Local Gov:	ICC	Prepared By:	DJL			
Locality:	WALLOON					

Lot 102

Stage 2





Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 102 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7mDenotes retaining wall average height Denotes depth of fill 1.0 ●

В	Updates	BRJ	31/07/2025
Α	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date



BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 102 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Ply Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 5.0%. Lengths and shapes of retaining wall heights may vary by up to 5.0%. In Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this index and no nat of the near may be percoluced without the solution. this plan and no part of the plan may be reproduced without this note

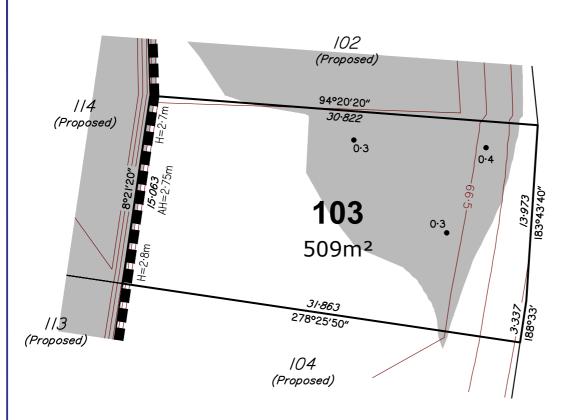
LENNIUM GROUP Client:

160494.project	t			
160494.project				
29/01/2025	Scale:	1:300		
	Approved:	JHH		
ICC	Prepared By:	DJL		
WALLOON				
	ICC	ICC Prepared By: Approved:		

Lot 103

Stage 2





Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 103 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7m1.0 ●

Denotes retaining wall average height

Denotes depth of fill

20

Scale 1:300

15

В	Updates	BRJ 31/07/2025
Α	Original Issue	DJL 29/01/2025
Issue	Revision	Int Date



BENNETT + BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 103 on SP355766

0m

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

Client: **LENNIUM GROUP**

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje		
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		

25

Lot 104 Stage 2 (Proposed) 103 (Proposed) 98°25′50″ 31.863 //3 (Proposed) 188°33′ 278°21′20′ 112 (Proposed) 105

(Proposed)

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 104 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7mDenotes retaining wall average height 1.0 ●

Denotes depth of fill

						Scale 1:300			
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	000		10	15	20	25	2
Issue	Revision	Int Date	0m	Э	10	15	20	25	3

BENNETT + BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 104 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Ply Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 5.0%. Lengths and shapes of retaining wall heights may vary by up to 5.0%. In Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this index and no nat of the near may be percoluced without the solution. this plan and no part of the plan may be reproduced without this note

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje		
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		

Lot 105 Stage 2 1/3 (Proposed) 104 (Proposed) 98°21′20″ 31.815 .66.5 112 (Proposed) 105 447m² 31.768 278°25′50 /// (Proposed) 106 (Proposed)

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 105 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7m1.0 ●

Denotes retaining wall average height

Denotes depth of fill

Scale 1:300

						Scale 1.300			
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	000		10	15	20	25	2
Issue	Revision	Int Date	0m	Э	10	15	20	25	3

BENNETT + BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 105 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

Plan No:	160494 01	9 DIS			
Comp File:	160494.project				
Date Created:	29/01/2025	Scale:	1:300		
Surveyed By:		Approved:	JHH		
Local Gov:	ICC	Prepared By:	DJL		
Locality:	WALLOON				

Lot 106 Stage 2 112 (Proposed) 105 (Proposed) 98°25′50″ 31.768 /// (Proposed) 106 445m² 8.572 110 278°25′50′ (Proposed) 107 (Proposed)

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Lot 106 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7mDenotes retaining wall average height Denotes depth of fill 1.0 ●

						Scale 1:300			
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	000		10	15	20	25	2
Issue	Revision	Int Date	0m	Э	10	15	20	25	3

BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 106 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Ply Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 5.0%. Lengths and shapes of retaining wall heights may vary by up to 5.0%. In Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this index and no nat of the near may be percoluced without the solution. this plan and no part of the plan may be reproduced without this note

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje		
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		

Lot 107 Stage 2 /// (Proposed) 106 (Proposed) 98°25′50″ 31.754 110 (Proposed) 107 188°19′25″ 508m² 3/-763 109 278°25′50′ (Proposed) 108

(Proposed)

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 107 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7m

Denotes retaining wall average height

Denotes depth of fill 1.0 ●

Scale 1:300

					Scale 1.300				
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	0m		10	15	20	25	-
Issue	Revision	Int Date	0m	ວ	10	15	20	25	

BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 107 on SP355766

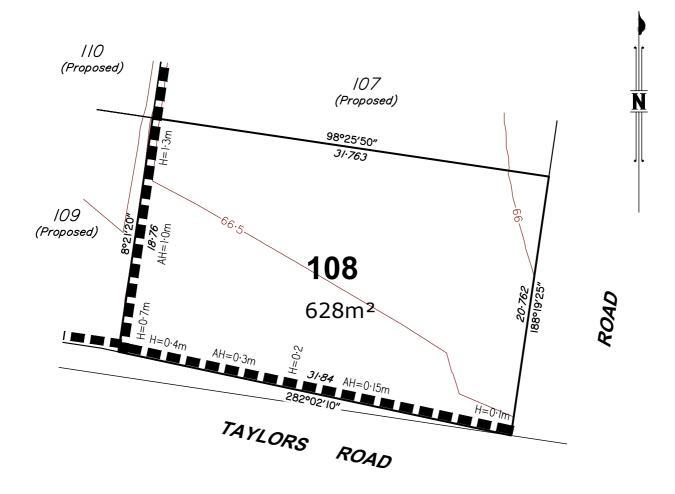
Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje	ct	
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		

Lot 108

Stage 2



Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Lot 108 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7m

Denotes retaining wall average height

Denotes depth of fill 1.0 ●

Scale 1:300

			Scale 1.500						
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	0m		10	15	20	25	3
Issue	Revision	Int Date	0m	Э	10	15	20	25	3

BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 108 on SP355766

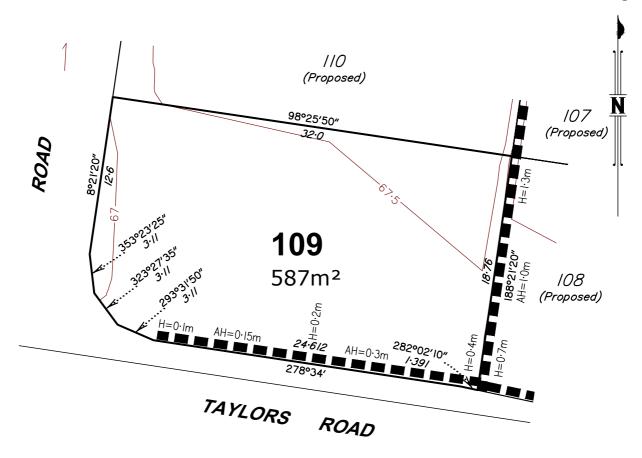
Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

160494.project	t	
29/01/2025	Scale:	1:300
	Approved:	JHH
ICC	Prepared By:	DJL
WALLOON		
	ICC	ICC Prepared By: Approved:

Lot 109

Stage 2



Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Lot 109 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7m1.0 ●

Denotes retaining wall average height

Denotes depth of fill

Scale 1:300

			Scale 1.500						
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	0m		10	15	20	25	3
Issue	Revision	Int Date	0m	Э	10	15	20	25	3

BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 109 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Ply Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 5.0%. Lengths and shapes of retaining wall heights may vary by up to 5.0%. In Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this index and no nat of the near may be percoluced without the solution. this plan and no part of the plan may be reproduced without this note

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje	ct	
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		

Lot 110 Stage 2 /// (Proposed) 106 98°25′50″ (Proposed) 110 881 881 107 128 14 107 (Proposed) 512m² 278°25′50 109 (Proposed) 108

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 110 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

(Proposed)

H=0.77m

Denotes retaining wall height

AH = 1.7m1.0 ●

Denotes retaining wall average height

Denotes depth of fill

	Scale 1:300									
В	Updates	BRJ	31/07/2025							
Α	Original Issue	DJL	29/01/2025	0		10	15	20	25	2
Issue	Revision	Int	Date	0m	5	10	15	20	25	3

BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 110 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje	ct	
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		

Lot 111 Stage 2 112 (Proposed) 98°25′50″ 105 (Proposed) 8°21′20" 106 448m² (Proposed) 278°25′50 110 (Proposed) 107

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 111 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7m

Denotes retaining wall average height

(Proposed)

Denotes depth of fill 1.0 ●

Scale 1:300

В	Updates	BRJ 31/07/2025	
Α	Original Issue	DJL 29/01/2025	0
Issue	Revision	Int Date	0m

							Scale 1.300			
В	Updates	BRJ 31/07/	7/2025							
Α	Original Issue	DJL 29/01/	/2025	0		10	15	20	25	2
Issue	Revision	Int Da	ate	0m	Э	10	15	20	25	3

BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 111 on SP355766

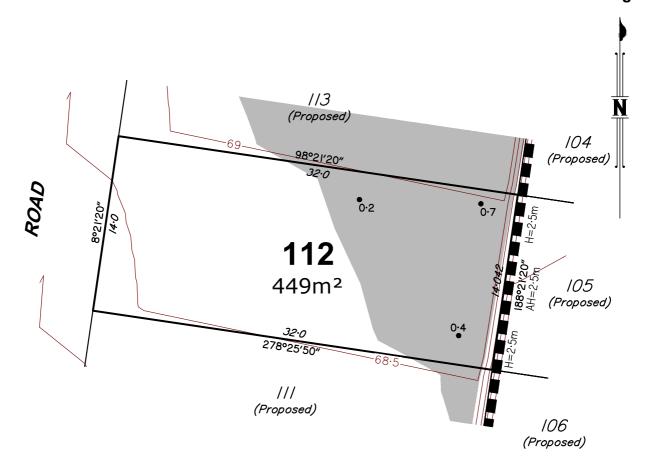
Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

160494.project	t	
29/01/2025	Scale:	1:300
	Approved:	JHH
ICC	Prepared By:	DJL
WALLOON		
	ICC	ICC Prepared By: Approved:

Lot 112

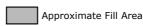
Stage 2



Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Lot 112 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m AH = 1.7m

Denotes retaining wall height

Denotes retaining wall average height

Denotes depth of fill 1.0 ●

Scale 1:300

			Scale 1.500						
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	0m		10	15	20	25	3
Issue	Revision	Int Date	0m	Э	10	15	20	25	3

BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 112 on SP355766

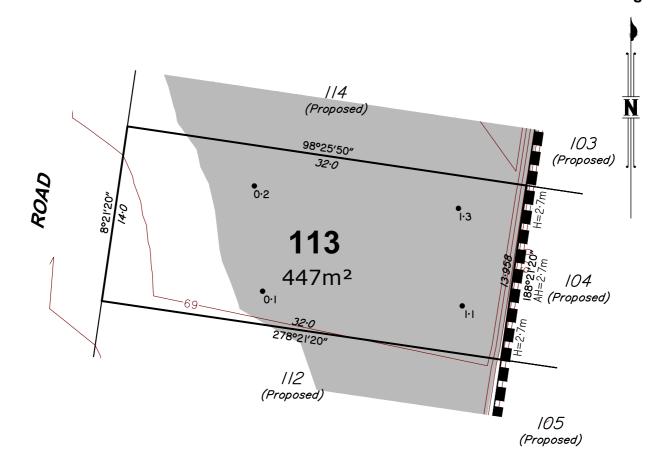
Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Ply Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 5.0%. Lengths and shapes of retaining wall heights may vary by up to 5.0%. In Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this index and no nat of the near may be percoluced without the solution. this plan and no part of the plan may be reproduced without this note

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje	ct	
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		

Lot 113

Stage 2



Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Lot 113 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7mDenotes retaining wall average height Denotes depth of fill 1.0 ●

Scale 1:300

						Scale 1.300			
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	0		10	15	20	25	
Issue	Revision	Int Date	0m	Э	10	15	20	25	3

BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 113 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

LENNIUM GROUP Client:

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje	ct	
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		

Lot 114 Stage 2 115 102 (Proposed) (Proposed) 79°21'20' 32.558 0.3 69.5 8°21′20″ 103 0.3 (Proposed) 278°25′50′ //3 (Proposed) 104

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 114 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

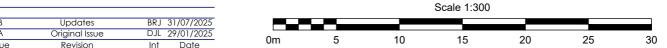
Denotes retaining wall height

(Proposed)

AH = 1.7mDenotes retaining wall average height 1.0 ●

Denotes depth of fill

В	Updates	BRJ 31/07/2025
Α	Original Issue	DJL 29/01/2025
Issue	Revision	Int Date



BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

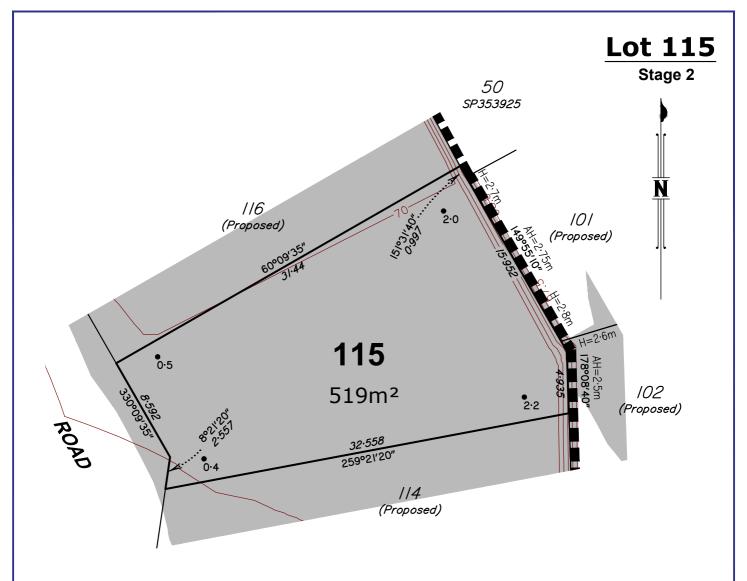
www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 114 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Ply Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 5.0%. Lengths and shapes of retaining wall heights may vary by up to 5.0%. In Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this index and no nat of the near may be percoluced without the solution. this plan and no part of the plan may be reproduced without this note

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje	ct	
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Lot 115 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7mDenotes retaining wall average height

Denotes depth of fill 1.0 ●

Updates	BRJ 31/07/2025
Original Issue	DJL 29/01/2025
Revision	Int Date



BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

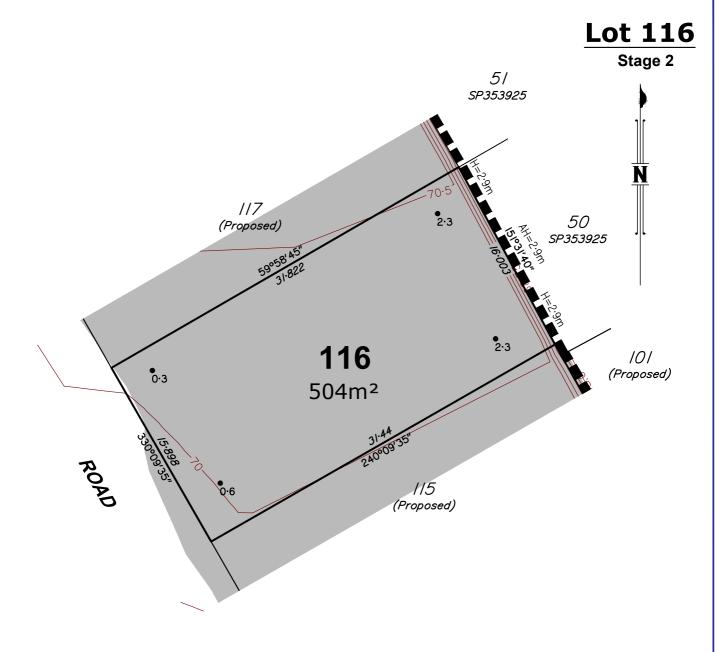
Disclosure Plan for Title: Proposed Lot 115 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Ply Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 5.0%. Lengths and shapes of retaining wall heights may vary by up to 5.0%. In Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this index and no nat of the near may be percoluced without the solution. this plan and no part of the plan may be reproduced without this note

LENNIUM GROUP Client:

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje	ct	
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		



- 1. Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024. RL 67.357m AHD.
- Contour Interval: 0.5m
- All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 116 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



-24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7 m1.0 ●

Denotes retaining wall average height

Denotes depth of fill

Scale 1:300

В	Updates	BRJ	31/07/2025
Α	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Updates BRJ 31/07/2025							
Original Issue DJL 29/01/2025	Om		10	15	20	25	30
Revision Int Date	- 0m	<u> </u>	10	10	20	23	30

BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 116 on SP355766

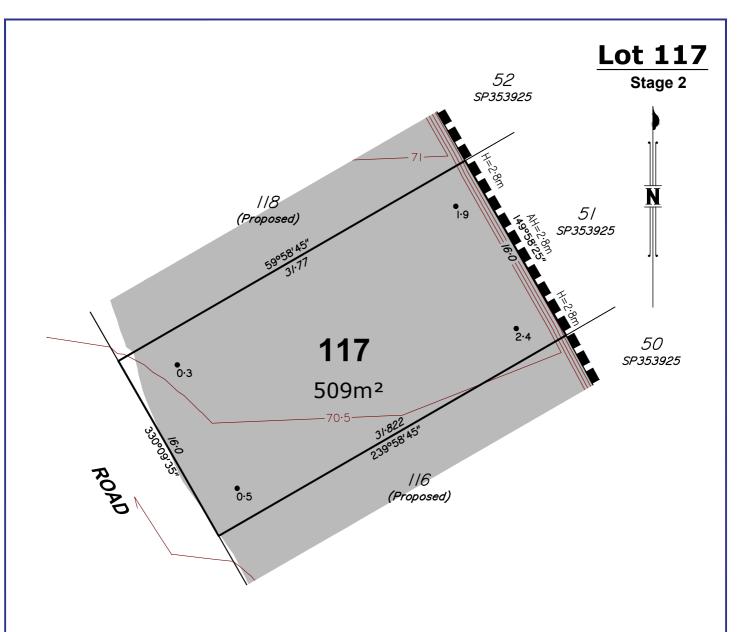
Taylors Road, WALLOON Being Part of Lot 1 on SP350918

BEING PAIT OT LOT I ON SP33U9 18

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Ply Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	LENNIUM	GROU

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje	ct	
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 117 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7mDenotes retaining wall average height Denotes depth of fill 1.0 ●

				Scale 1:300						
В	Updates	BRJ	31/07/2025							
Α	Original Issue	DJL	29/01/2025	0		10	15	20	25	2
Issue	Revision	Int	Date	0m	5	10	15	20	25	3

BENNETT + BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

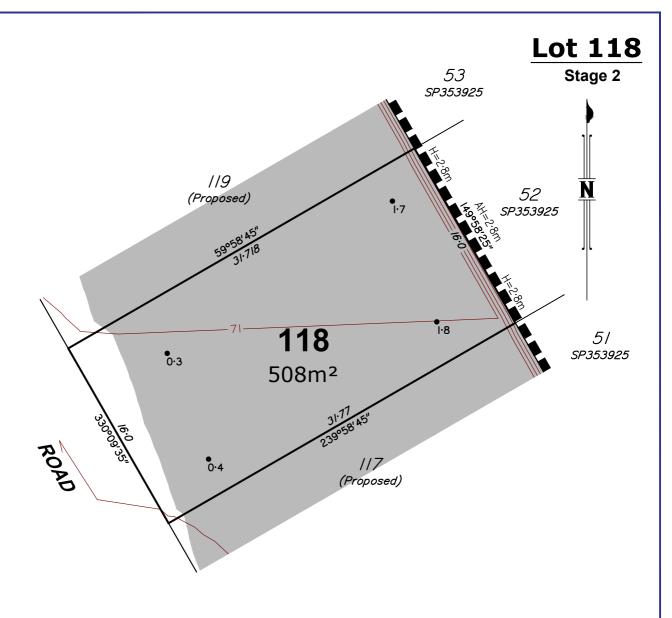
www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 117 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

160494.project	t	
29/01/2025	Scale:	1:300
	Approved:	JHH
ICC	Prepared By:	DJL
WALLOON		
	ICC	ICC Prepared By: Approved:



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Lot 118 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7mDenotes retaining wall average height Denotes depth of fill 1.0 ●

						Scale 1:300			
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	000		10	15	20	25	2
Issue	Revision	Int Date	0m	Э	10	15	20	25	3

BENNETT + BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

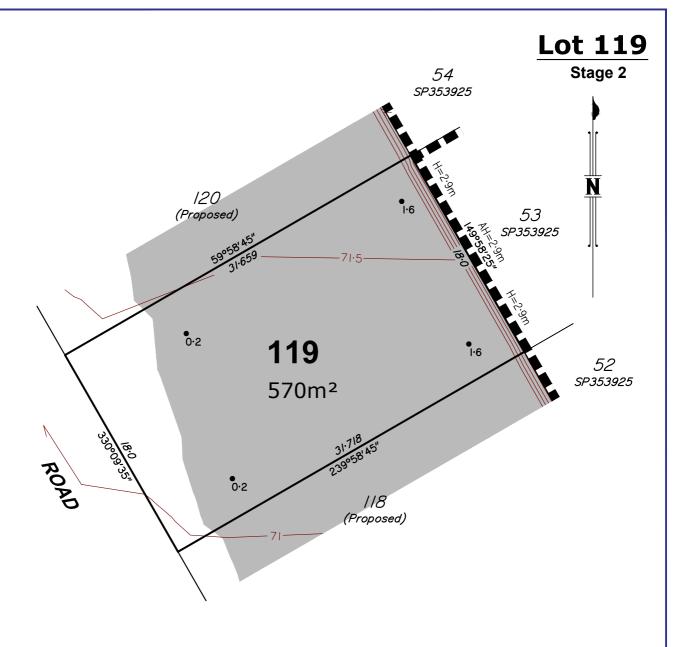
www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 118 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

Surveyed By: Approved: JHI	Plan No:	160494 01	9 DIS	
Local Gov: ICC Prepared By: DJ Surveyed By: Approved: JHI	Comp File:	160494.proje	ct	
Local Gov: ICC Prepared By: DJ	Date Created:	29/01/2025	Scale:	1:300
,	Surveyed By:		Approved:	JHH
Locality: WALLOON	Local Gov:	ICC	Prepared By:	DJL
	Locality:	WALLOON		



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 119 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7mDenotes retaining wall average height Denotes depth of fill 1.0 ●

			Scale 1:300						
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	000		10	15	20	25	2
Issue	Revision	Int Date	0m	Э	10	15	20	25	3

BENNETT + BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

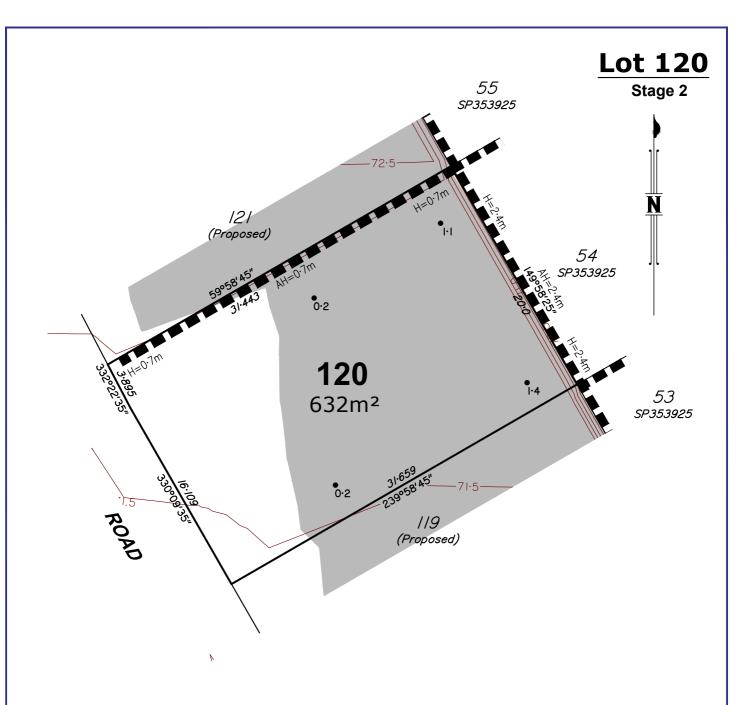
www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 119 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje	ct	
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 120 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7mDenotes retaining wall average height Denotes depth of fill 1.0 ●

						Scale 1:300			
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	000	-	10	15	20	25	20
Issue	Revision	Int Date	0m	э	10	15	20	25	30

BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 120 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 5.0%. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this no

160494.project				
1:30				
red: JHI				
ed By: DJ				

Lot 121 Stage 2 123 (Proposed) 55 122 SP353925 (Proposed) 54 SP353925 498m² (Proposed)

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
 7. This plan shows details of Proposed Lot 121 on proposal plan BRSS7381-002-04-02
- Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

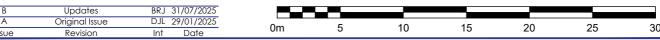
Scale

Denotes retaining wall height

AH = 1.7mDenotes retaining wall average height Denotes depth of fill 1.0 ●

: 1:300

В	Updates	BRJ	31/07/2025
Α	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date



BENNETT + BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

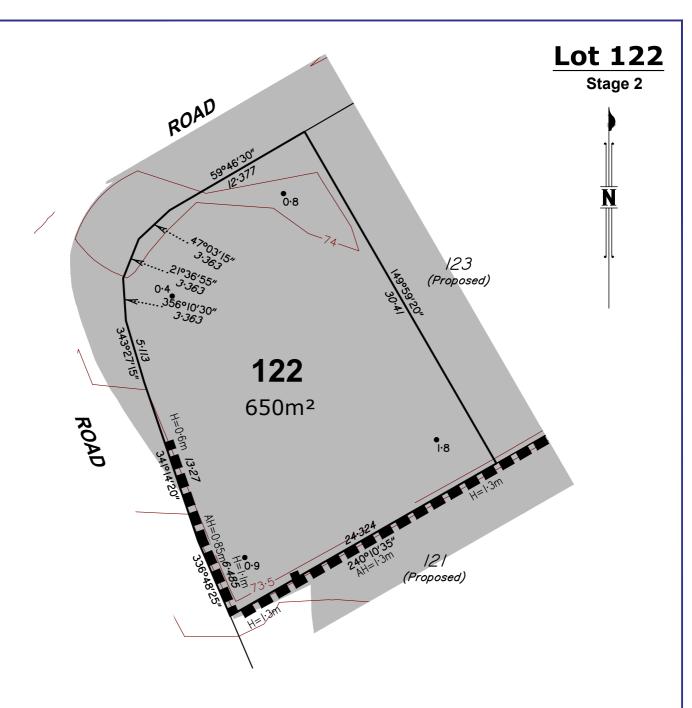
www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 121 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Ply Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 5.0%. Lengths and shapes of retaining wall heights may vary by up to 5.0%. In Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this index and no nat of the near may be percoluced without the solution. this plan and no part of the plan may be reproduced without this no

Plan No:	160494 01	9 DIS				
Comp File:	160494.project					
Date Created:	29/01/2025	Scale:	1:300			
Surveyed By:		Approved:	JHH			
Local Gov:	ICC	Prepared By:	DJL			
Locality:	WALLOON					



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m
 All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 122 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7m

Denotes retaining wall average height

Denotes depth of fill 1.0 ●

			Scale 1:300						
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	000		10	15	20	25	2
Issue	Revision	Int Date	0m	Э	10	15	20	25	3

BENNETT + BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 122 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

Plan No:	160494 01	9 DIS				
Comp File:	160494.project					
Date Created:	29/01/2025	Scale:	1:300			
Surveyed By:		Approved:	JHH			
Local Gov:	ICC	Prepared By:	DJL			
Locality:	WALLOON					

Lot 123 Stage 2 ROAD • I·0 56 0.6 SP353923 123 607m² 122 (Proposed) 55 SP353925 (Proposed)

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Lot 123 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7mDenotes retaining wall average height

Denotes depth of fill 1.0 ●

					Scale 1:3	300	
В	Updates	BRJ 31/07/2025					
Α	Original Issue	DJL 29/01/2025	0	10	15	20	25
Issue	Revision	Int Date	0m 5	10	15	20	20

BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

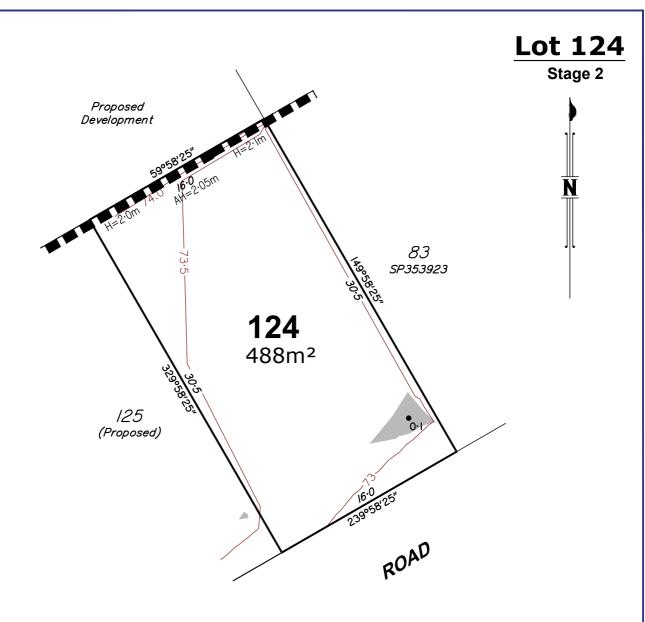
Disclosure Plan for Title: Proposed Lot 123 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

LENNIUM GROUP Client:

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje		
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 124 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m AH = 1.7m

Denotes retaining wall height

Denotes retaining wall average height

Denotes depth of fill 1.0 ●

Scale 1:300

						Scale 1.300			
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	000		10	15	20	25	2
Issue	Revision	Int Date	0m	Э	10	15	20	25	3

BENNETT + BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 124 on SP355766

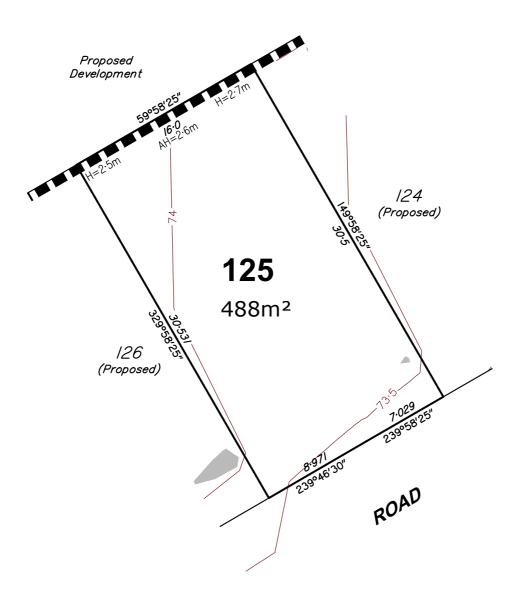
Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this no

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje	ct	
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		

Lot 125

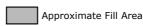
Stage 2



Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 125 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7m1.0 ●

Denotes retaining wall average height

Denotes depth of fill

						Scale 1:300			
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	0m		10	15	20	25	
Issue	Revision	Int Date	0m	5	10	15	20	25	

BENNETT + BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 125 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 5.0%. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note

160494 01	O DIC				
160494.proje	160494.project				
29/01/2025	Scale:	1:300			
	Approved:	JHH			
ICC	Prepared By:	DJL			
WALLOON					
	ICC 29/01/2025	ICC Prepared By: Approved: 29/01/2025 Scale: Scale:			

Lot 126 Stage 2 Proposed Development 125 (Proposed) 126 642m²

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 126 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m AH = 1.7m

Denotes retaining wall height

Denotes retaining wall average height

Denotes depth of fill 1.0 ●

							Scale 1:300			
В	Updates	BRJ	31/07/2025							
Α	Original Issue	DJL	29/01/2025	000		10	15	20	25	
Issue	Revision	Int	Date	0m	5	10	15	20	25	30

BENNETT + BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 126 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje	ct	
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		

Lot 138 Stage 2 Proposed Development 82015'25' 33.095 76.0 16.191 138 352°15′25″ 549m² 9.9 Proposed Development 35.572 262°15′25" AH=0.6m H=0.6m 139 (Proposed)

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Lot 138 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m AH = 1.7m

Denotes retaining wall height

Denotes retaining wall average height Denotes depth of fill 1.0 ●

						Scale 1:300			
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	0m	-	10	15	20	25	
Issue	Revision	Int Date	0m	5	10	15	20	25	•

BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 138 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

160494.project	t	
29/01/2025	Scale:	1:300
	Approved:	JHH
ICC	Prepared By:	DJL
WALLOON		
	ICC	ICC Prepared By: Approved:

Lot 139 Stage 2 138 (Proposed) 82015'25 35.572 AH=0.6mH=0.6m 139 589m² Proposea Developmen H=0.7m 38.05 262°15′25′ AH=0.7m 140 (Proposed)

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 139 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7m

Denotes retaining wall average height

Denotes depth of fill 1.0 ●

						Scale 1:300			
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	000		10	15	20	25	2
Issue	Revision	Int Date	0m	Э	10	15	20	25	3

BENNETT + BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 139 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje		
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		

Lot 140 Stage 2 139 (Proposed) 82015/25" H = 0.7m**38.05** AH=0.7m 140 352015'25' 588m² 161°14'20" Proposed 1.416 Development 40.428 262°15′25′ 141 (Proposed)

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Lot 140 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7m

Denotes retaining wall average height

Denotes depth of fill 1.0 ●

						Scale 1:300			
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	000		10	15	20	25	20
Issue	Revision	Int Date	0m	Э	10	15	20	25	30

BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

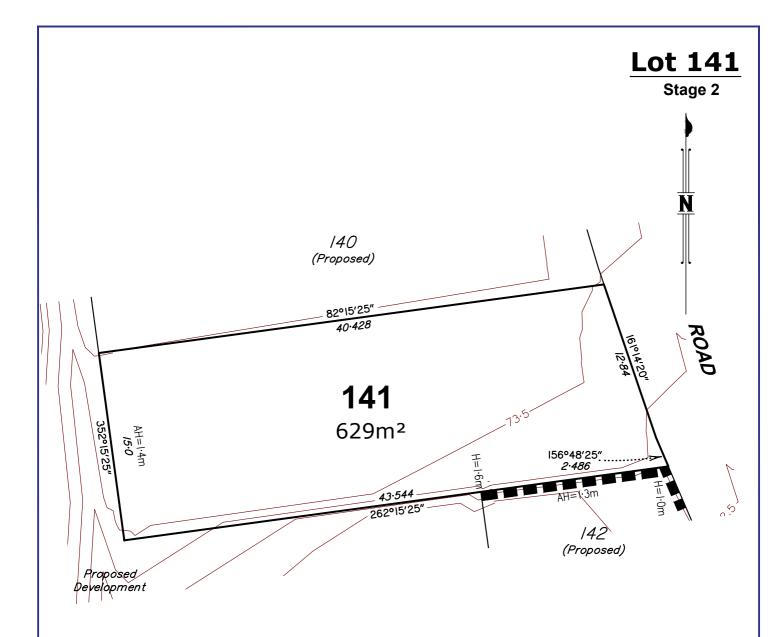
www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 140 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje	ct	
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 141 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7mDenotes retaining wall average height

Denotes depth of fill 1.0 ●

						Scale 1:300			
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	000		10	15	20	25	2
Issue	Revision	Int Date	0m	Э	10	15	20	25	3

BENNETT + BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

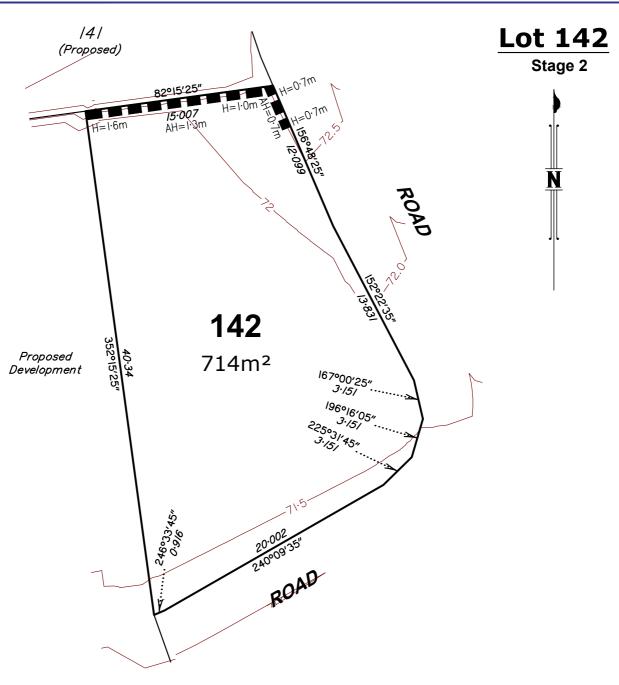
www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 141 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

Local Gov: ICC Surveyed By: Date Created: 29/01/2025 Comp File: 160494.proj	19_DIS	
Local Gov: ICC Surveyed By:	ect	
Local Gov: ICC	Scale:	1:300
	Approved:	JHH
,	Prepared By:	DJL
Locality: WALLOON		



- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 142 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7mDenotes retaining wall average height

Denotes depth of fill 1.0 ●

В	Updates	BRJ	31/07/2025							
Α	Original Issue	DJL	29/01/2025	0m		10	15	20	25	20
Issue	Revision	Int	Date	0m	5	10	15	20	25	30

BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 142 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje	ct	
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		

Stage 2 145 591m² Proposed Development 146 (Proposed)

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Lot 145 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

Lot 145

H=0.77m

Denotes retaining wall height

AH = 1.7m1.0 ●

Denotes retaining wall average height

Denotes depth of fill

20

Scale 1:300

I						Scale 1.5
В	Updates	BRJ 31/07/2025				
Α	Original Issue	DJL 29/01/2025	000	-	10	15
Issue	Revision	Int Date	0m	5	10	15

BENNETT + BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 145 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

LENNIUM GROUP Client:

1:30
red: JHI
ed By: DJ

Lot 146 Stage 2 145 (Proposed) 480m² Proposed 147 Development (Proposed)

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 146 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7mDenotes retaining wall average height

Denotes depth of fill 1.0 ●

						Scale 1:300			
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	0		10	15	20	25	20
Issue	Revision	Int Date	0m	Э	10	15	20	25	30

BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 146 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

Surveyed By: Approved: JHH	Plan No:	160494 01	9 DIS	
Local Gov: ICC Prepared By: DJL Surveyed By: Approved: JHH	Comp File:	160494.proje	ct	
Local Gov: ICC Prepared By: DJL	Date Created:	29/01/2025	Scale:	1:300
	Surveyed By:		Approved:	JHH
Locality: WALLOON	Local Gov:	ICC	Prepared By:	DJL
	Locality:	WALLOON		

Stage 2 146 (Proposed) 147 584m² Proposed Development 148 (Proposed)

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 147 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

Lot 147

H = 0.77 m

Denotes retaining wall height

AH = 1.7m1.0 ●

Denotes retaining wall average height

Denotes depth of fill

D	Undatas	DDI	31/07/2025
D	Updates	DKJ	31/0//2023
Α	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date



BENNETT + BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 147 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Ply Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 5.0%. Lengths and shapes of retaining wall heights may vary by up to 5.0%. In Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this index and no nat of the near may be percoluced without the solution. this plan and no part of the plan may be reproduced without this note

LENNIUM GROUP Client:

Plan No:	160494 01	9 DIS	
Comp File:	160494.proje	ct	
Date Created:	29/01/2025	Scale:	1:300
Surveyed By:		Approved:	JHH
Local Gov:	ICC	Prepared By:	DJL
Locality:	WALLOON		

Lot 148 Stage 2 147 (Proposed) AH=0.9m P59′20″ 148 9.607 8°21′20 Proposed Development 537m² 278°34′20 149 (Proposed)

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Lot 148 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7m1.0 ●

Denotes retaining wall average height

Denotes depth of fill

Scale 1:300

			Scale 1.500						
В	Updates	BRJ 31/07/2025							
Α	Original Issue	DJL 29/01/2025	0,55	-	10	15	20	25	2
Issue	Revision	Int Date	0m	5	10	15	20	25	30

BENNETT+BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 148 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

Plan No:	160494 01	9 DIS		
Comp File: 160494.project				
Date Created:	29/01/2025	Scale:	1:300	
Surveyed By:		Approved:	JHH	
Local Gov:	ICC	Prepared By:	DJL	
Locality:	WALLOON			

Lot 149 Stage 2 148 (Proposed) 98°34′20″ 69 8°21′20″ Proposed Development 149 540m² 188°21′20″ 12.39/ AH=0.5m:0·5m 278°33′20′ Proposed Development

Notes:

- Drawn to Scale on A4 sheet.
- All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
- Contour Interval : 0.5m All dimensions and areas are subject to final survey and approval by ICC.
- This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
- This plan shows details of Proposed Lot 149 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
- 8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

LEGEND



24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH = 1.7m1.0 ●

Denotes retaining wall average height

Denotes depth of fill

В	Updates	BRJ 31/07/2025
Α	Original Issue	DJL 29/01/2025
Issue	Revision	Int Date

Scale 1:300							
0m	5	10	15	20	25	30	

BENNETT + BENNETT

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS

www.bennettandbennett.com.au

Disclosure Plan for Title: Proposed Lot 149 on SP355766

Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining wall have approximated from the control of the retaining wall have approximated from the control of the change was the procedure without this control. this plan and no part of the plan may be reproduced without this note

Surveyed By: Approved: JHH	Plan No:	160494 01	9 DIS		
Local Gov: ICC Prepared By: DJL Surveyed By: Approved: JHH	Comp File:	160494.project			
Local Gov: ICC Prepared By: DJL	Date Created:	29/01/2025	Scale:	1:300	
	Surveyed By:		Approved:	JHH	
Locality: WALLOON	Local Gov:	ICC	Prepared By:	DJL	
	Locality:	WALLOON			