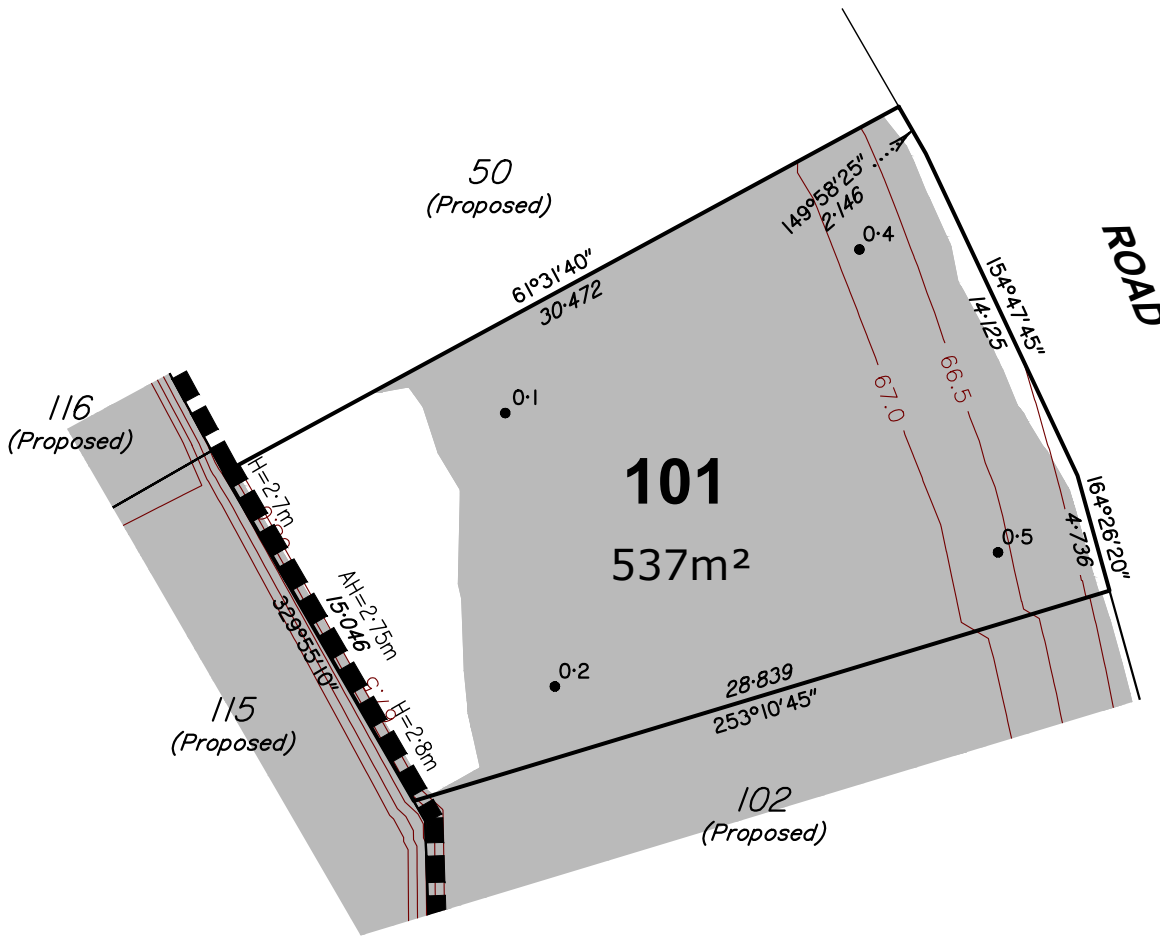


# Lot 101

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 101 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH=1.7m

Denotes retaining wall average height

I=0 ●

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 101 on SP355766

Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

LENNIUM GROUP

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494 019 DIS		



PO Box 5021, GCMC QLD 9726  
Ph: (07) 5631 8000  
mail@bennettandbennett.com.au

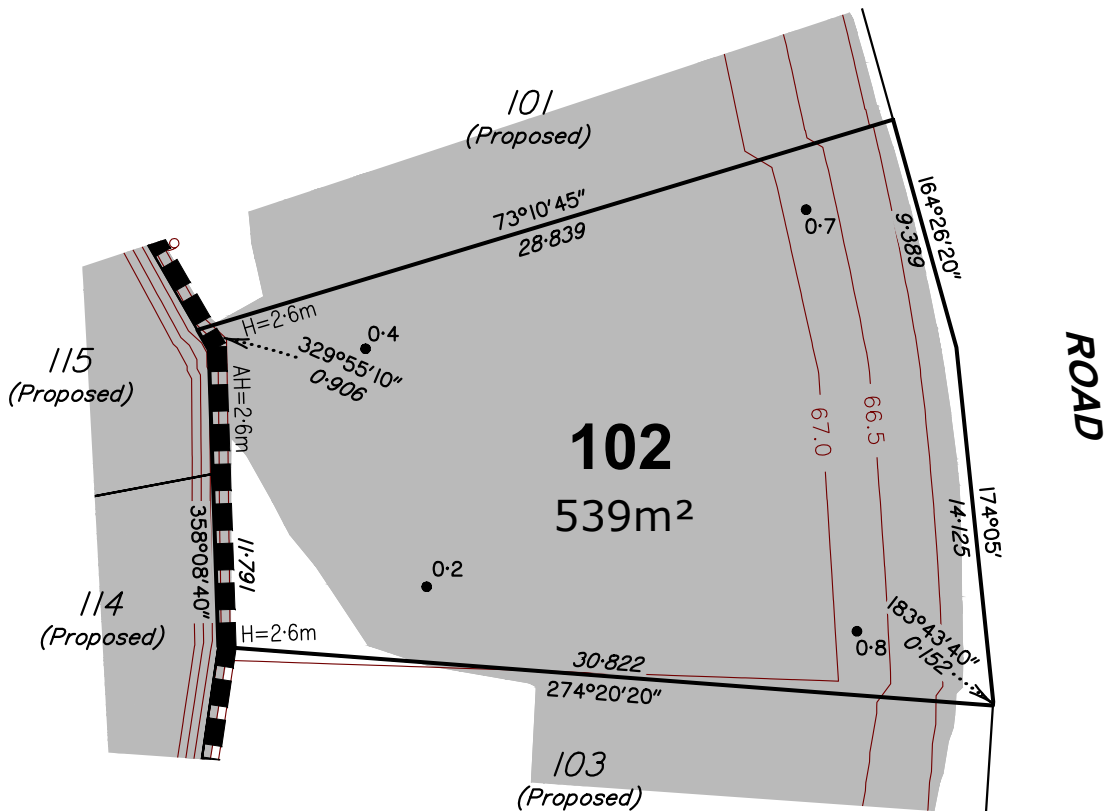
Surveying, Town Planning & Spatial Services

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# Lot 102

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 102 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

— 2.4 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH=1.7m

Denotes retaining wall average height

I=0 ●

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 102 on SP355766

Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

LENNIUM GROUP

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494_019 DIS		



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mail@bennettandbennett.com.au

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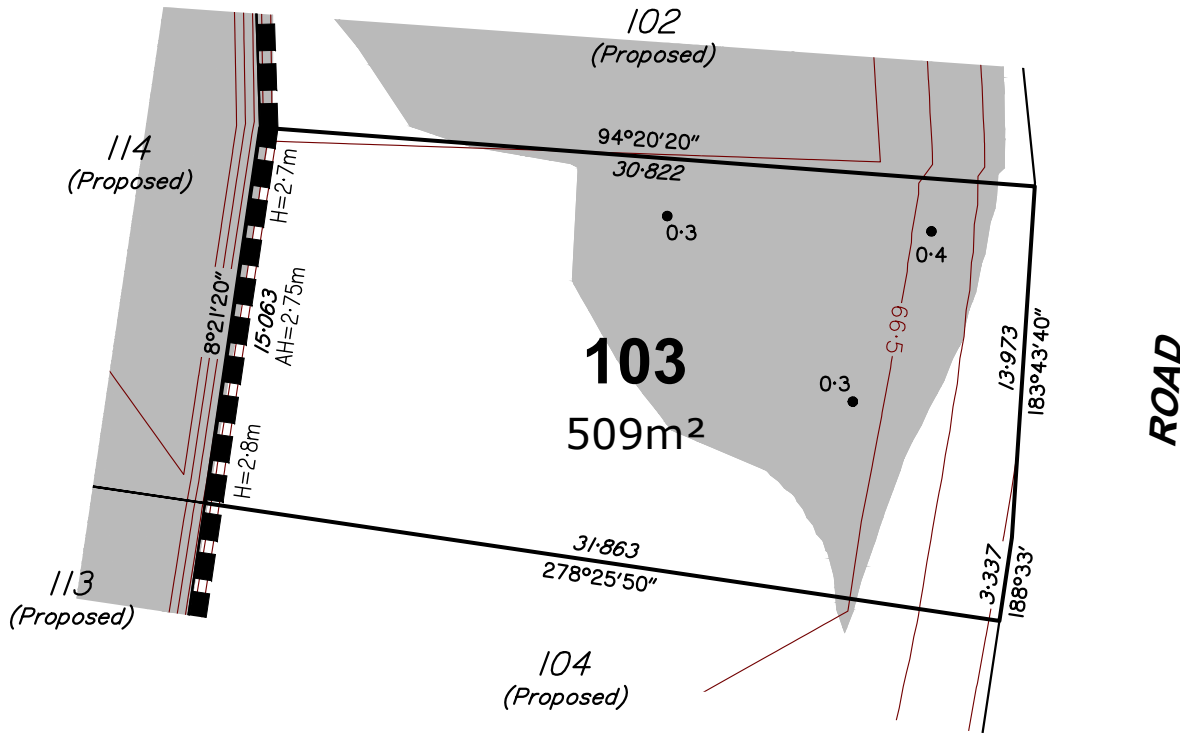
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A4

# Lot 103

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 103 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m Denotes retaining wall height

AH=1.7m Denotes retaining wall average height

I=0 Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 103 on SP355766

Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

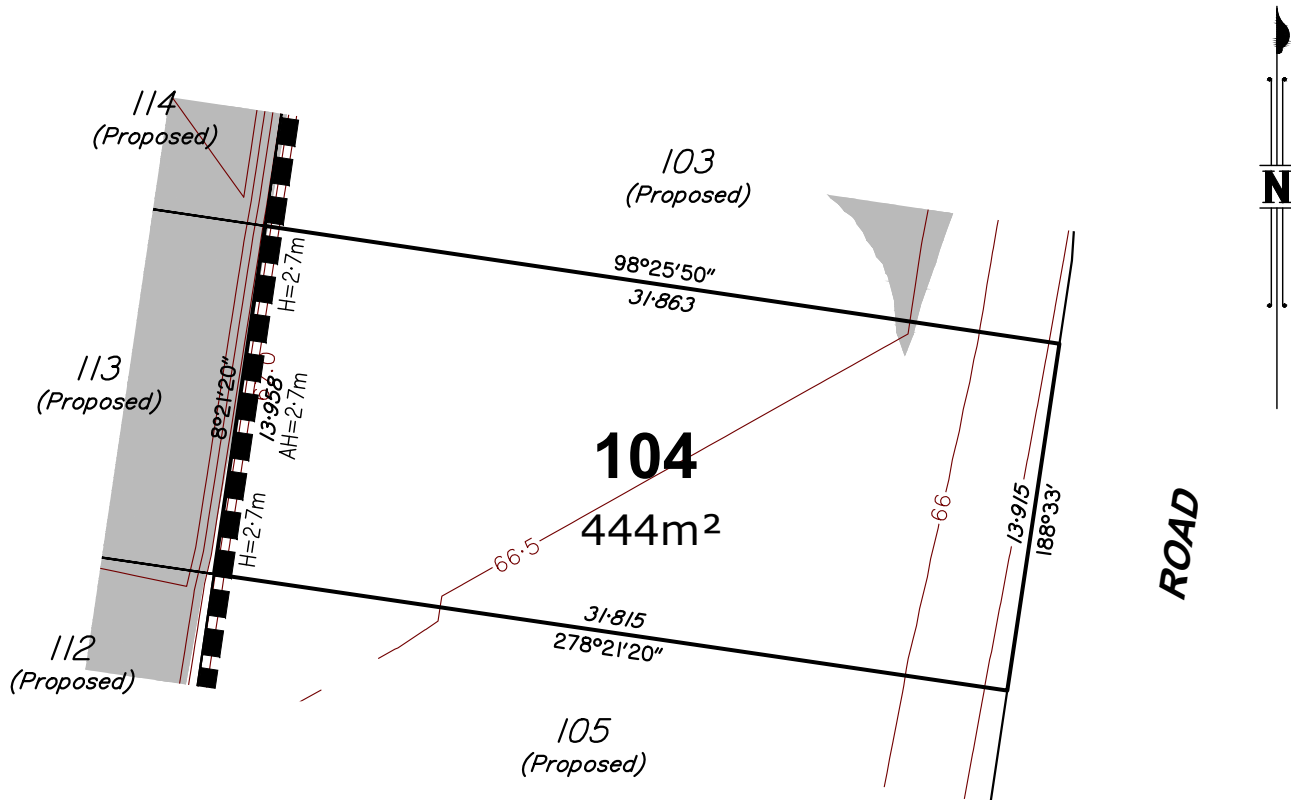
Client:

LENNIUM GROUP

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494 019 DIS		

# Lot 104

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 104 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

2.4 Design Contours

H=0.77m

Denotes retaining wall height

AH=1.7m

Denotes retaining wall average height

1.0 Denotes depth of fill

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

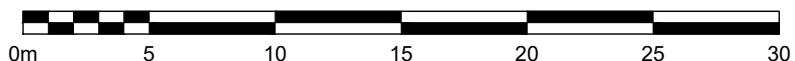
Denotes retaining wall height

Denotes retaining wall average height

Denotes depth of fill

Scale 1:300

B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date



Title: **Disclosure Plan for**  
**Proposed Lot 104 on SP355766**  
Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

Client: **LENNIUM GROUP**

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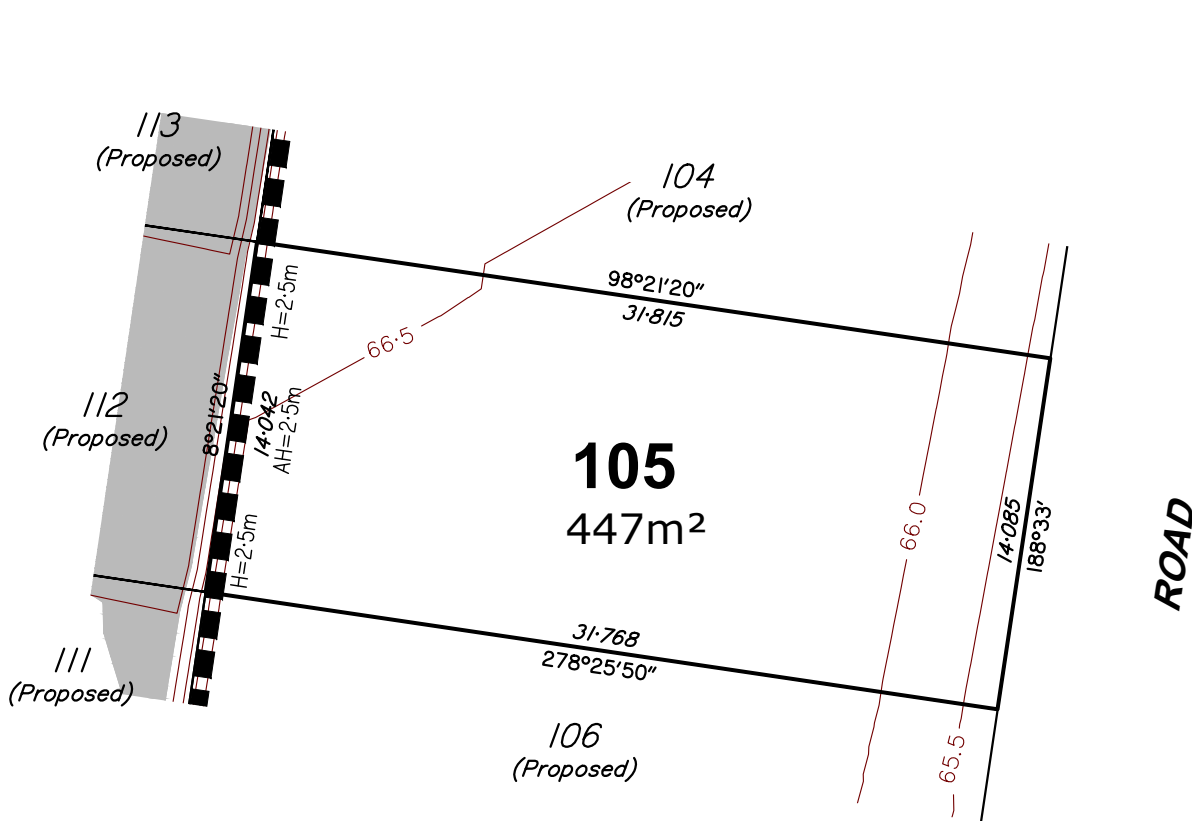
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494_019 DIS		

A4

# Lot 105

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 105 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH=1.7m

Denotes retaining wall average height

I=0 ●

Denotes depth of fill

Scale 1:300

B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date



Title: **Disclosure Plan for**  
**Proposed Lot 105 on SP355766**  
Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

Client: **LENNIUM GROUP**



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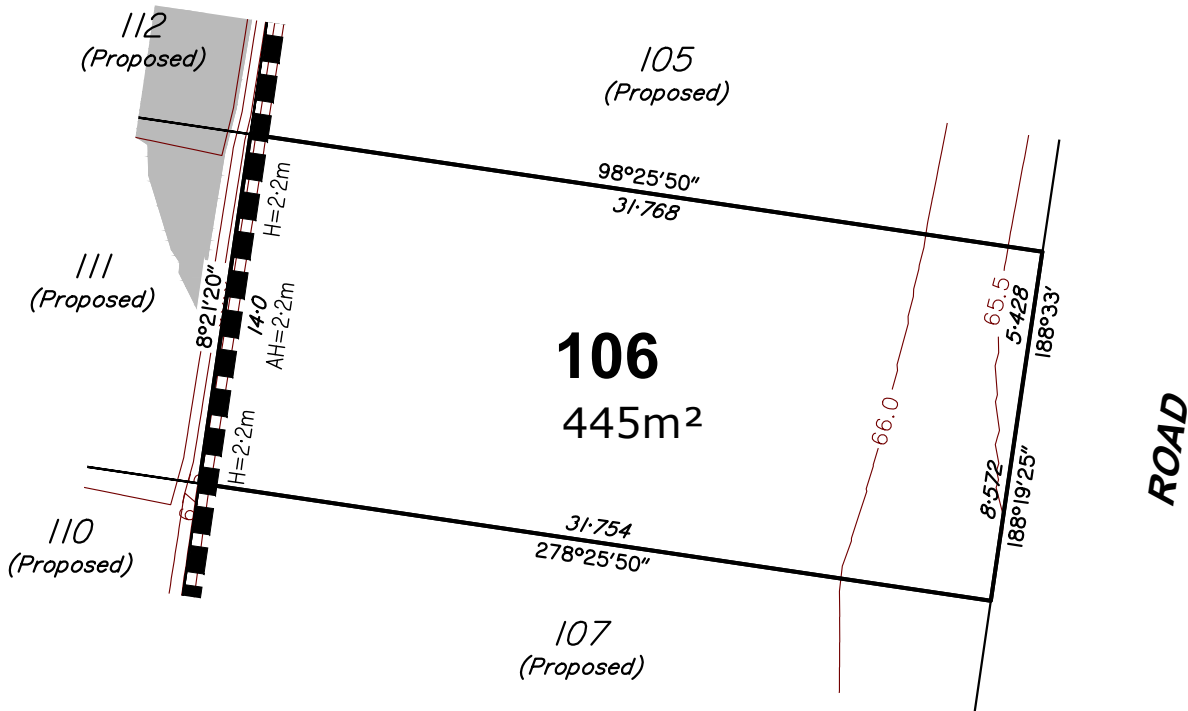
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This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494_019 DIS		

# Lot 106

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 106 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

2.4 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH=1.7m

Denotes retaining wall average height

I=0 ●

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 106 on SP355766

Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

LENNIUM GROUP

Locality: WALLOON

Local Gov: ICC

Prepared By: DJL

Surveyed By:

Approved: JHH

Date Created: 29/01/2025

Scale: 1:300

Comp File: 160494.project

Plan No: 160494\_019\_DIS



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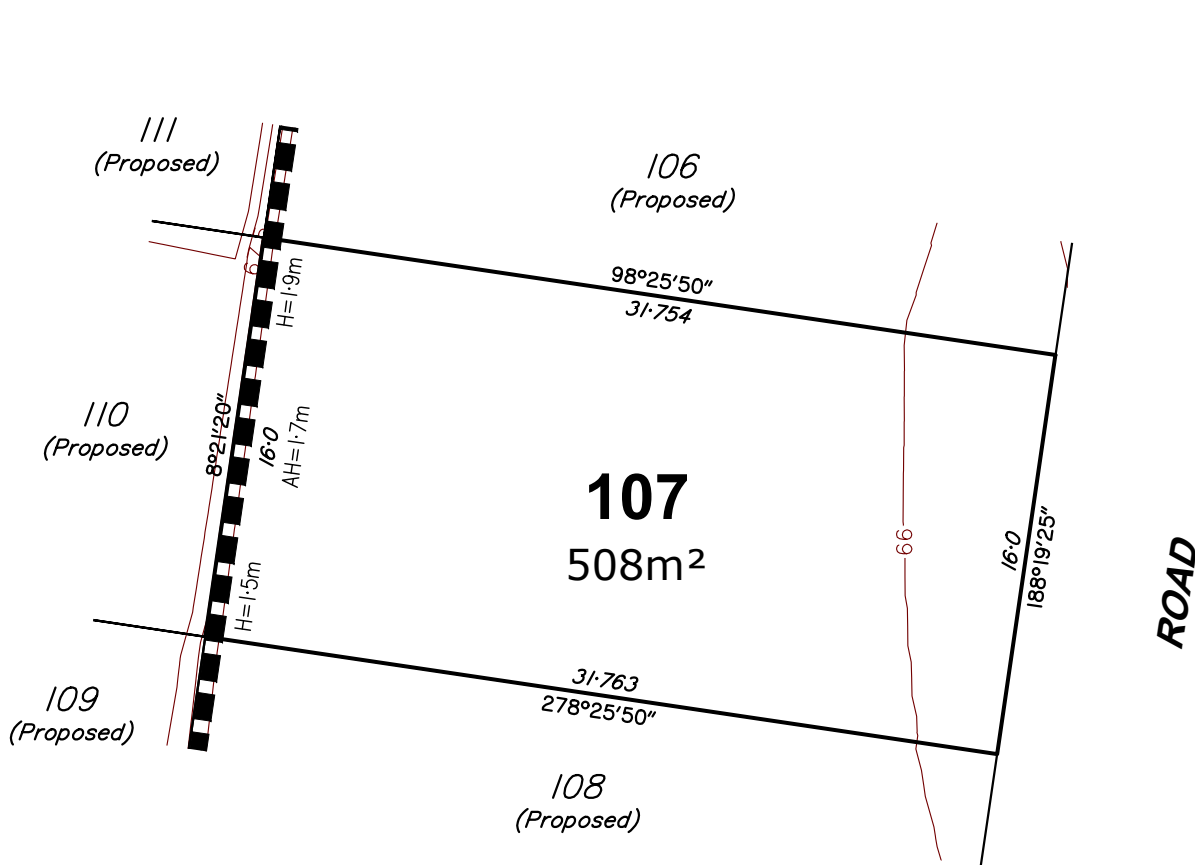
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A4

# Lot 107

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 107 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

— 2.4 — Design Contours

H=0.77m

AH=1.7m

I=0 ●

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

Denotes retaining wall height

Denotes retaining wall average height

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 107 on SP355766

Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

LENNIUM GROUP

Locality: WALLOON

Local Gov: ICC

Prepared By: DJL

Surveyed By:

Approved: JHH

Date Created: 29/01/2025

Scale: 1:300

Comp File: 160494.project

Plan No: 160494\_019\_DIS



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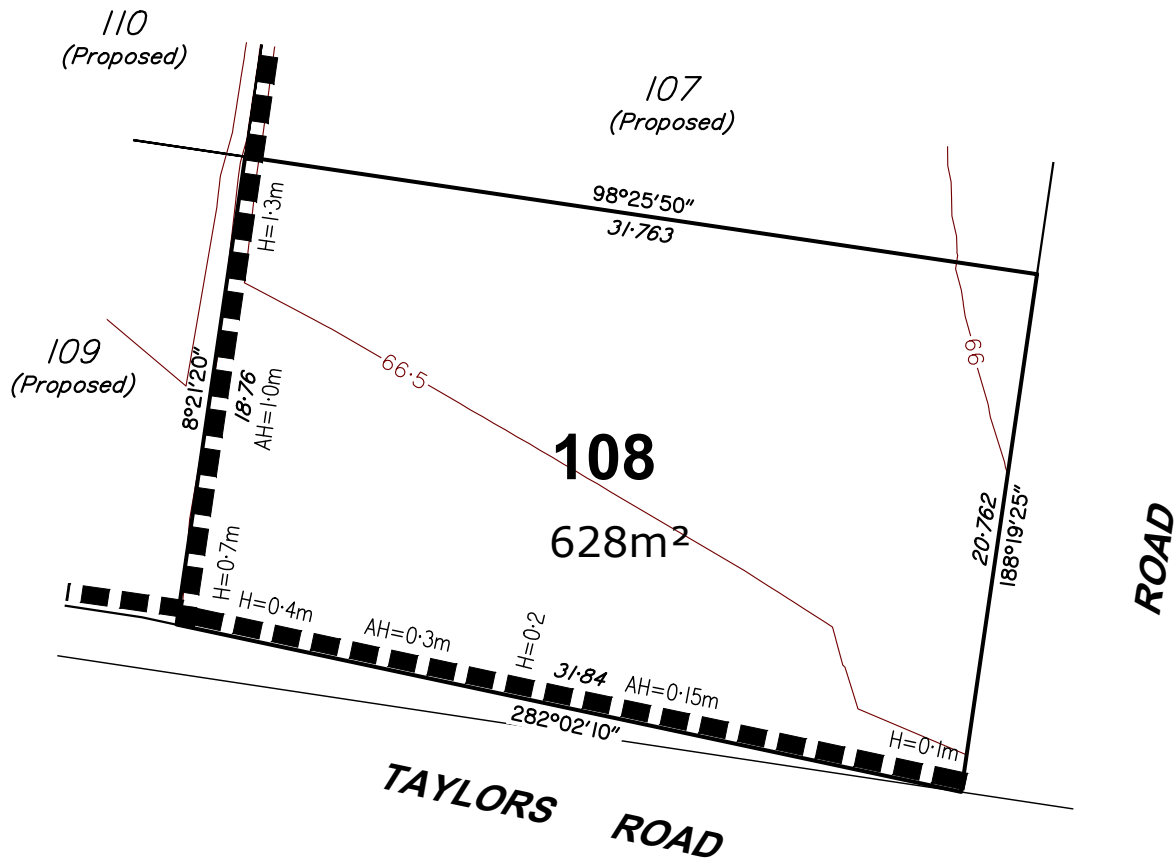
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A4

# Lot 108

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 108 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

— 2.4 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH=1.7m

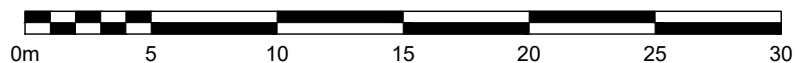
Denotes retaining wall average height

I=0 ●

Denotes depth of fill

Scale 1:300

B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date



Title: **Disclosure Plan for**  
**Proposed Lot 108 on SP355766**  
Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

Client: **LENNIUM GROUP**

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494 019 DIS		

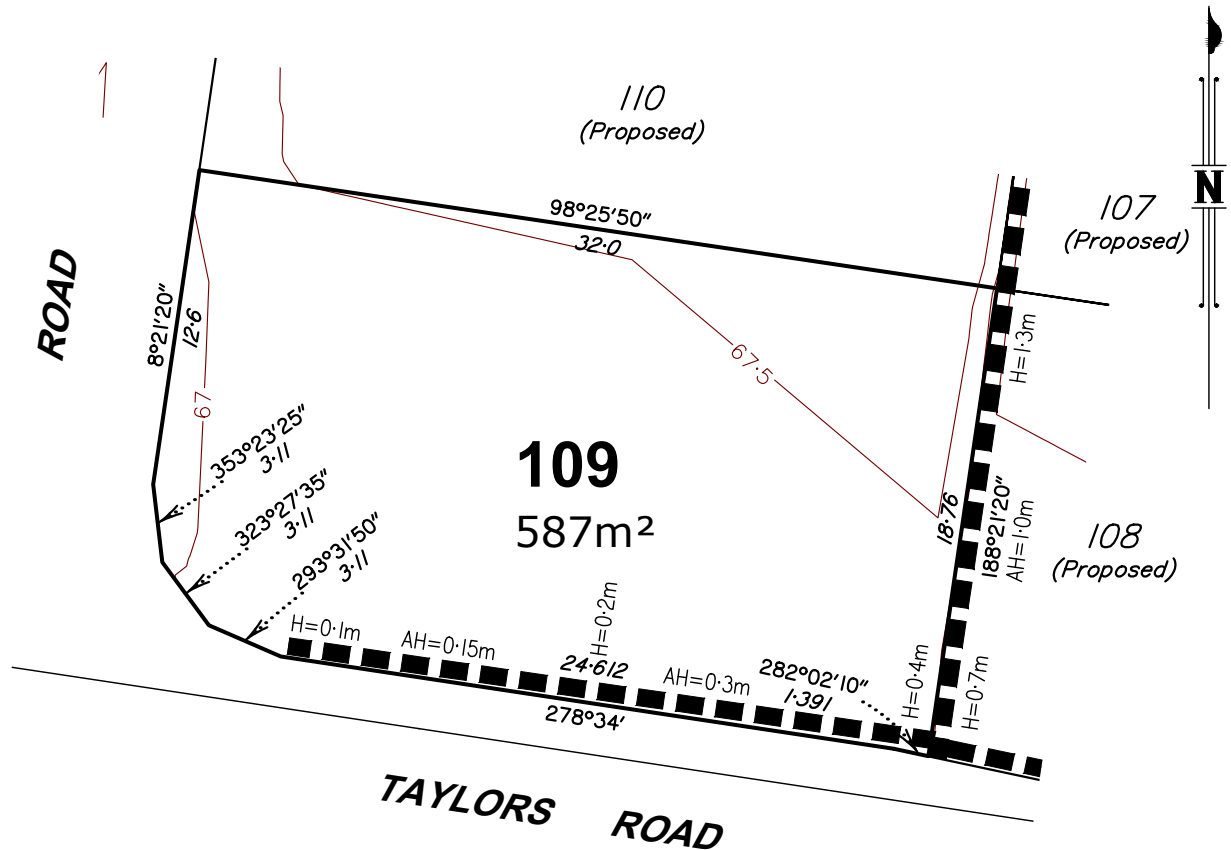
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# Lot 109

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 109 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH=1.7m

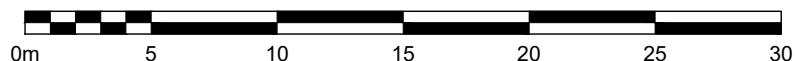
Denotes retaining wall average height

I=0 ●

Denotes depth of fill

Scale 1:300

B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date



Title: **Disclosure Plan for  
Proposed Lot 109 on SP355766  
Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918**

Client: **LENNIUM GROUP**



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mail@bennettandbennett.com.au

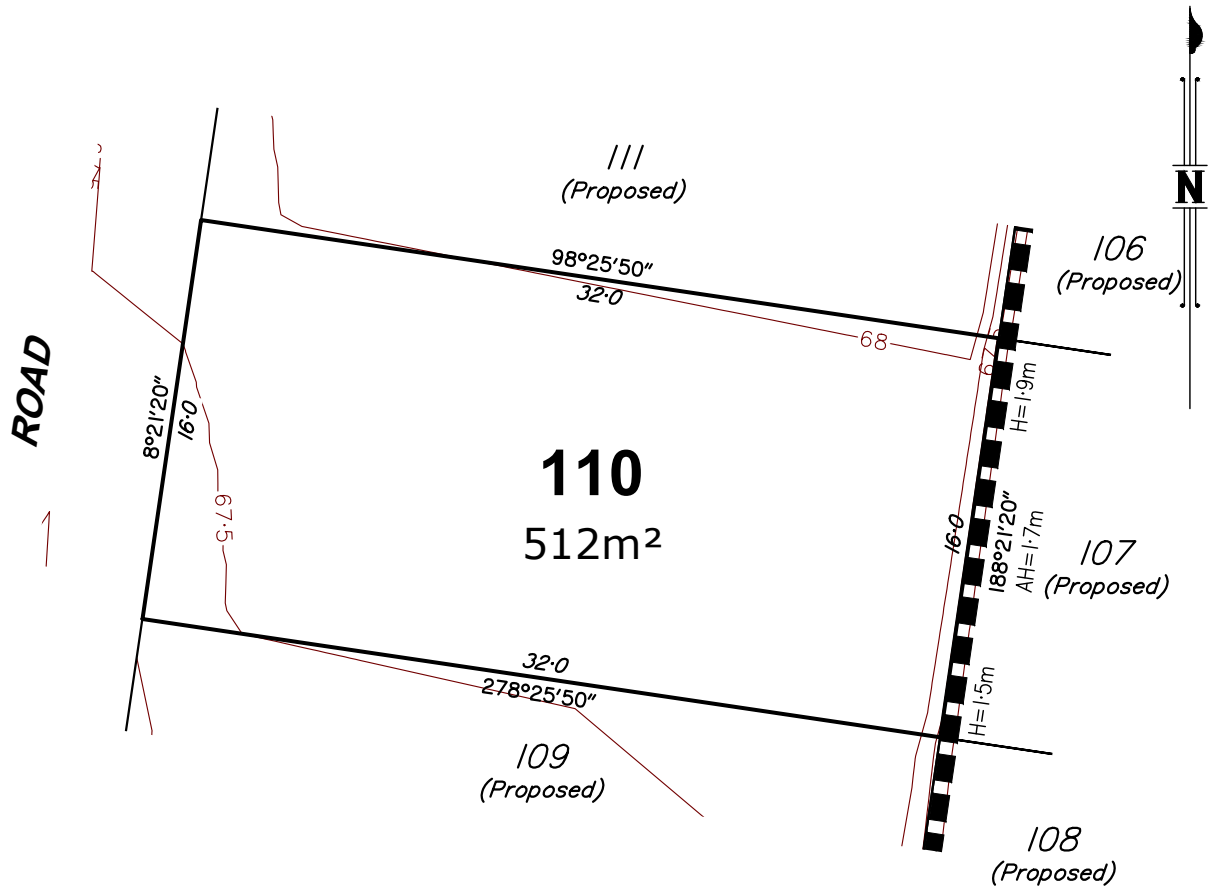
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This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494 019 DIS		

# Lot 110

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 110 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

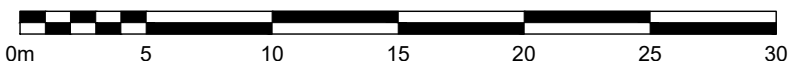
AH=1.7m

Denotes retaining wall average height

I=0 ●

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title: **Disclosure Plan for**  
**Proposed Lot 110 on SP355766**  
Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

Client: **LENNIUM GROUP**



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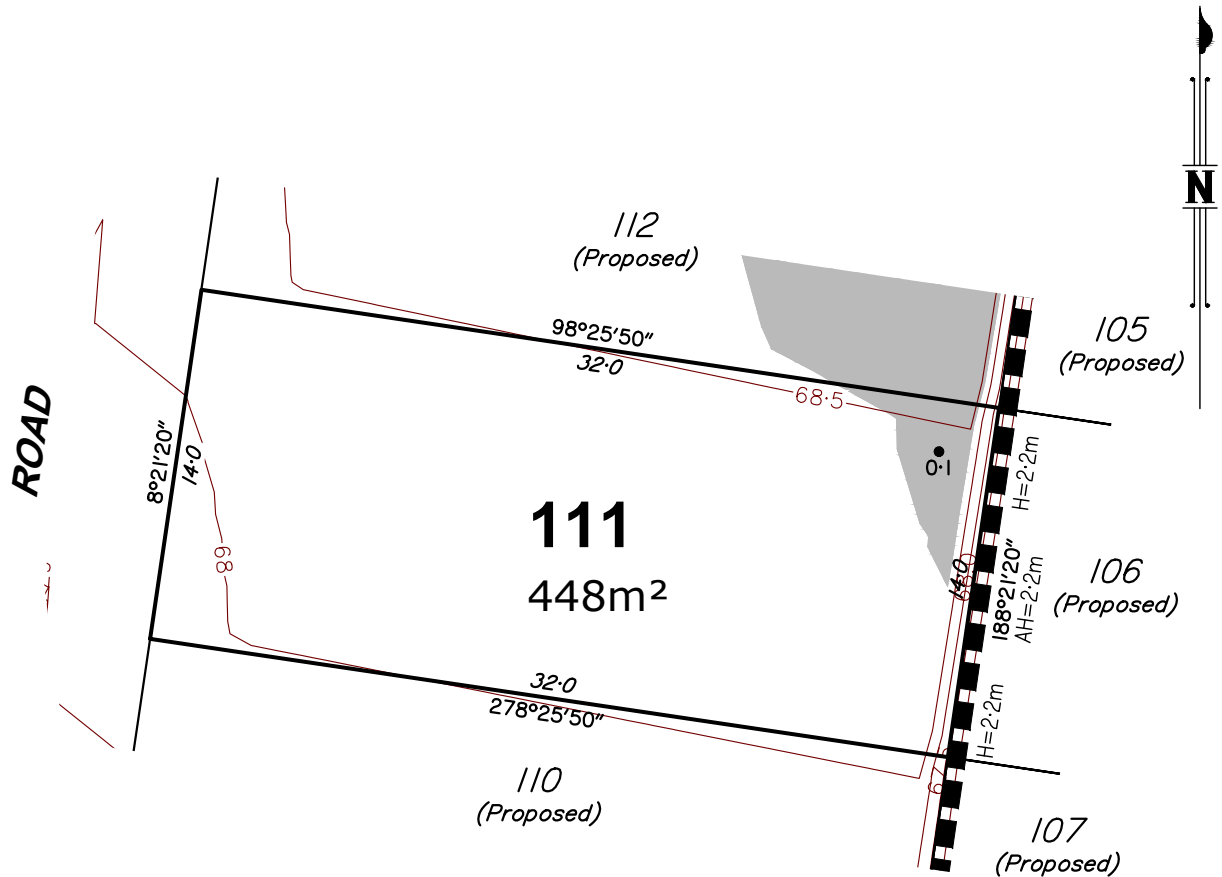
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494_019 DIS		

A4

# Lot 111

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 111 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

2.4 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH=1.7m

Denotes retaining wall average height

I=0.1

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 111 on SP355766

Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

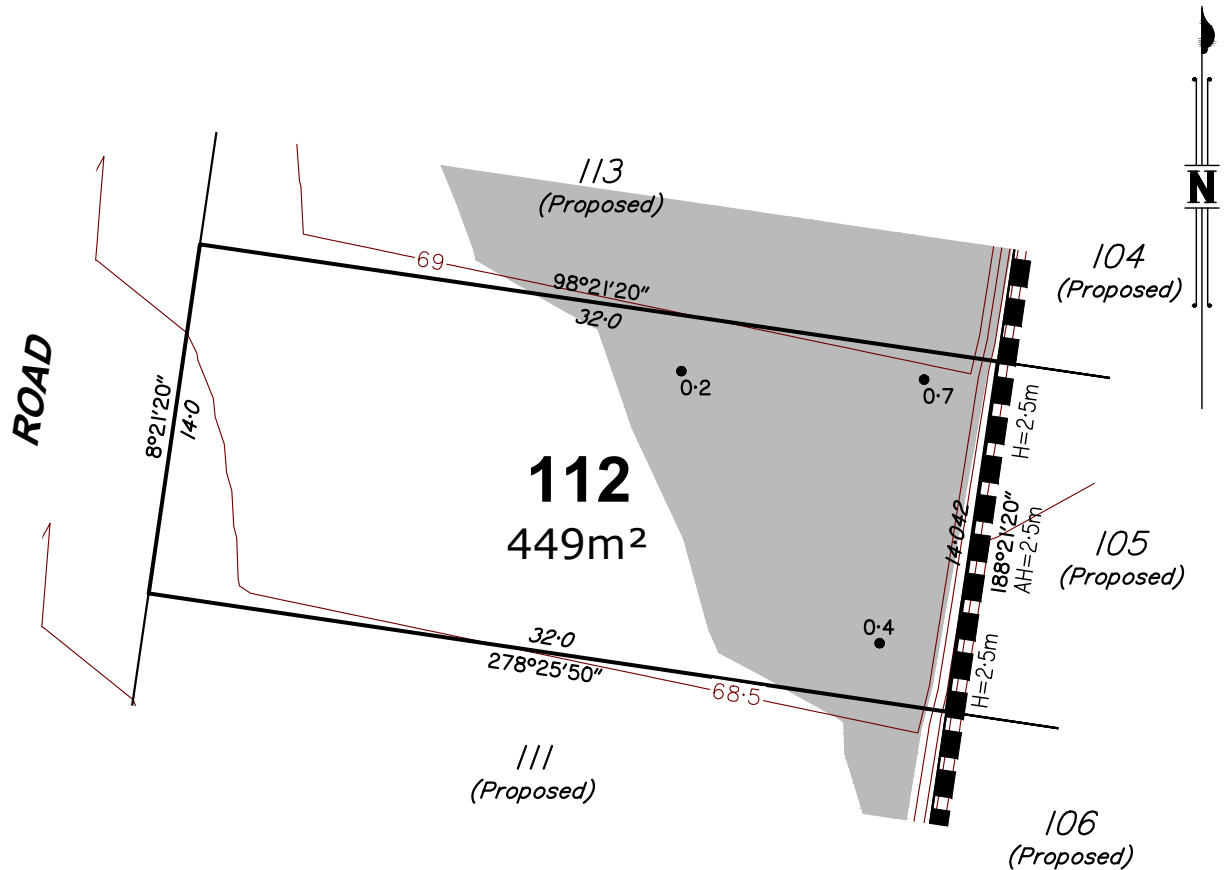
Client:

LENNIUM GROUP

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494 019 DIS		

# Lot 112

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 112 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.
- H=0.77m  
■ ■ ■ ■ ■  
AH=1.7m  
Denotes retaining wall height
- Denotes retaining wall average height
- I-0 ● Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 112 on SP355766

Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

LENNIUM GROUP

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494_019_DIS		

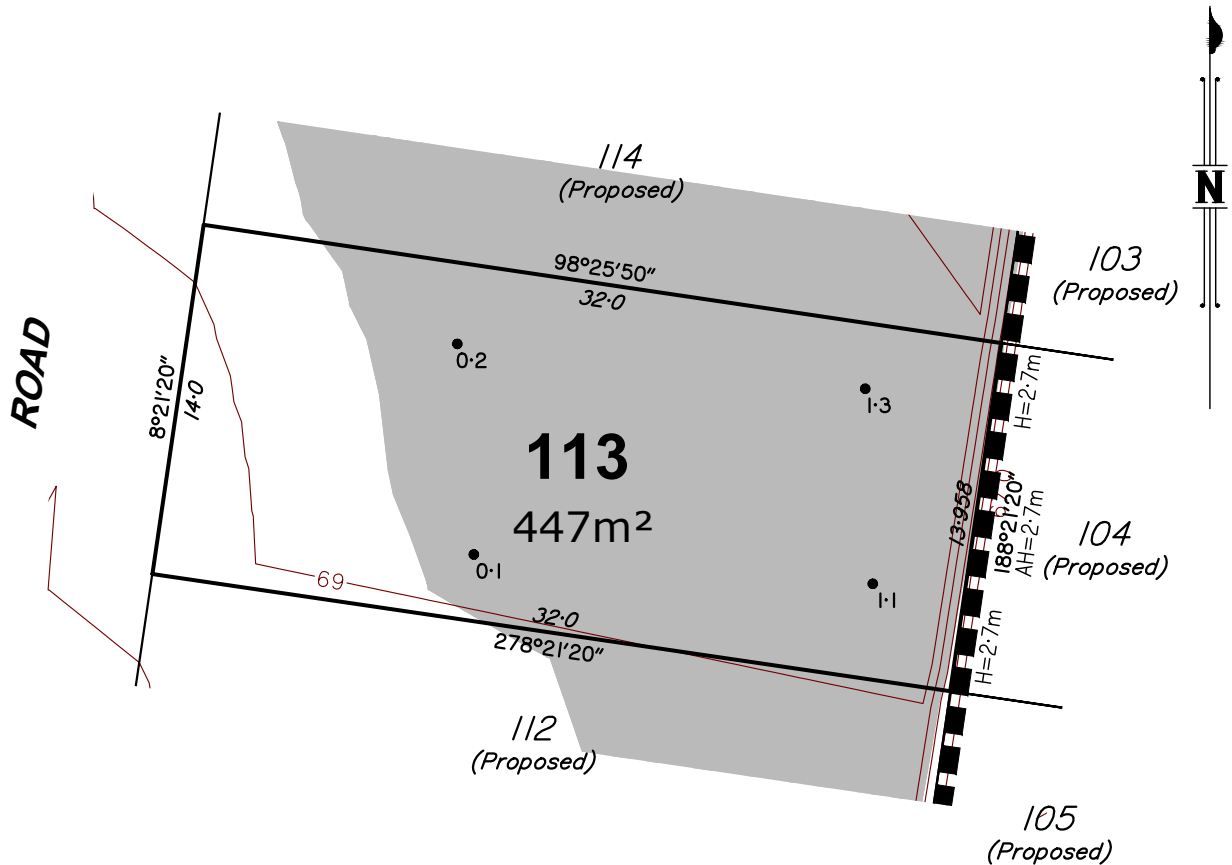
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# Lot 113

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 113 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

— 2.4 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH=1.7m

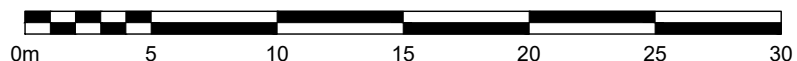
Denotes retaining wall average height

I-0 ●

Denotes depth of fill

Scale 1:300

B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date



Title: **Disclosure Plan for  
Proposed Lot 113 on SP355766**  
Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

Client: **LENNIUM GROUP**

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[www.bennettandbennett.com.au](http://www.bennettandbennett.com.au)

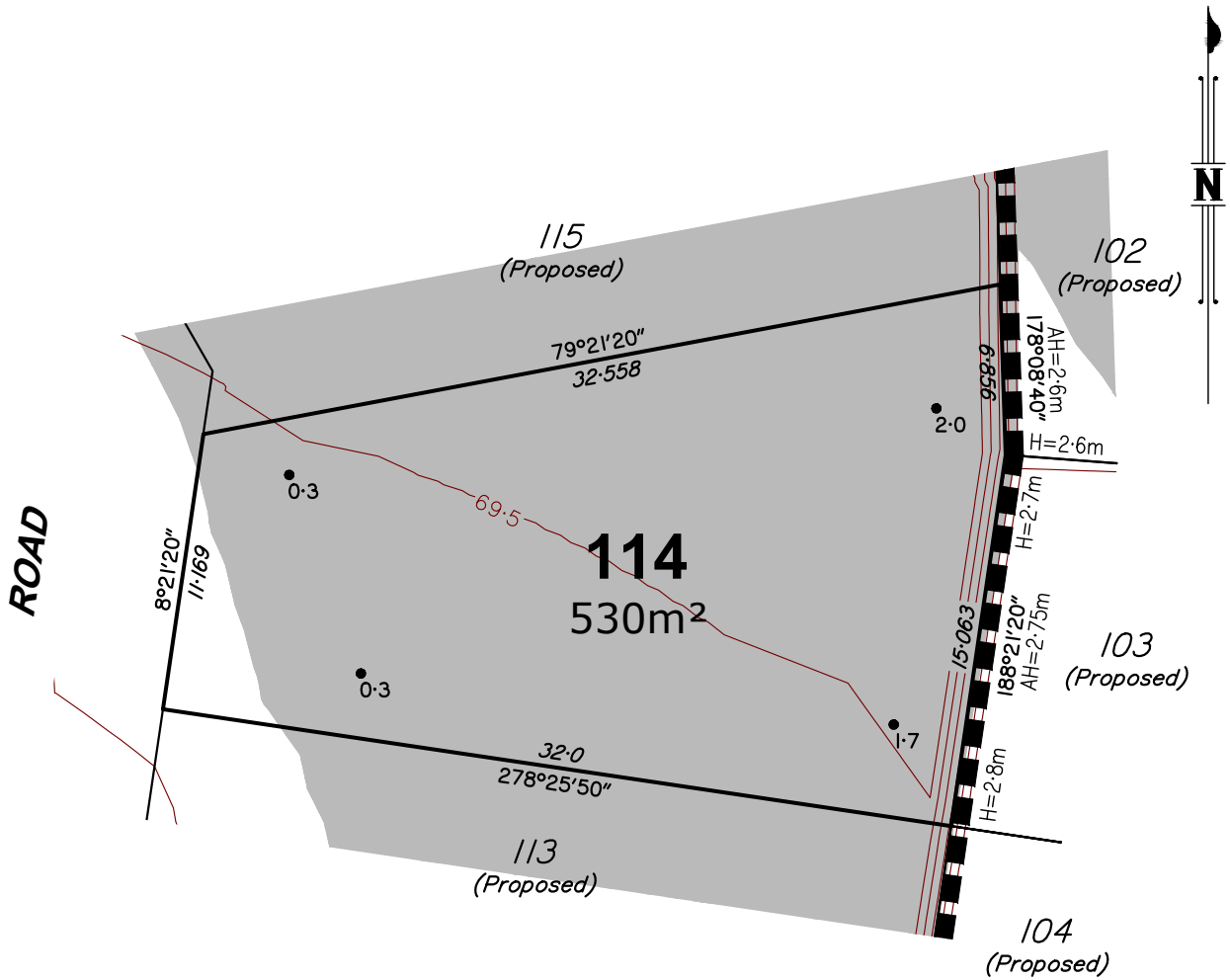
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Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494_019 DIS		

A4

# Lot 114


Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 114 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

 Approximate Fill Area

 2.4 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

■ ■ ■  
AH=1.7m

●

Denotes retaining wall height

Denotes retaining wall average height

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 114 on SP355766

Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

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Client:

LENNIUM GROUP

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494 019 DIS		



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mail@bennettandbennett.com.au

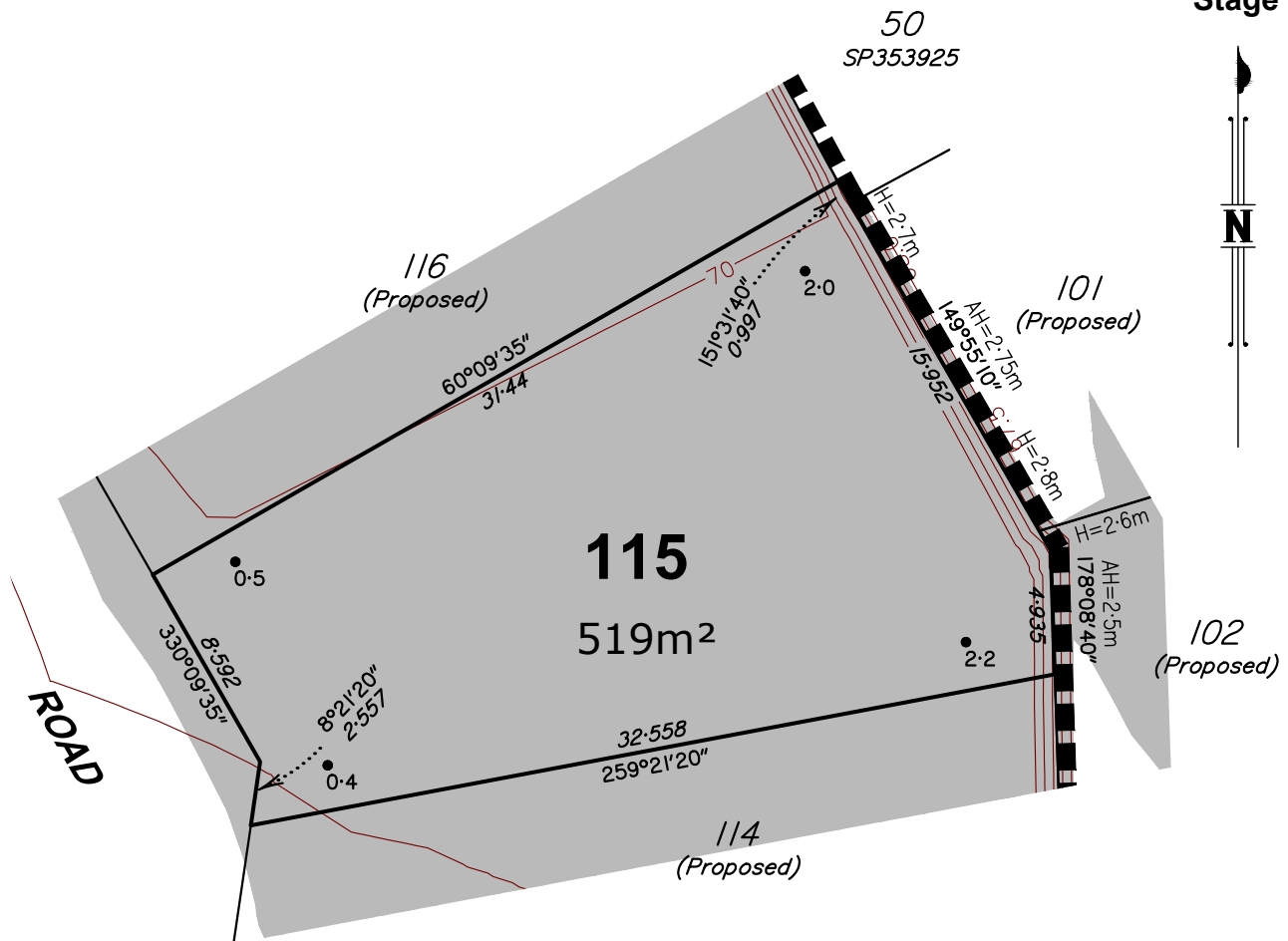
Surveying, Town Planning & Spatial Services

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# Lot 115

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
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8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

2.4 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

AH=1.7m

I=0 ●

Denotes retaining wall height

Denotes retaining wall average height

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 115 on SP355766

Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

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Client:

LENNIUM GROUP

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494_019 DIS		



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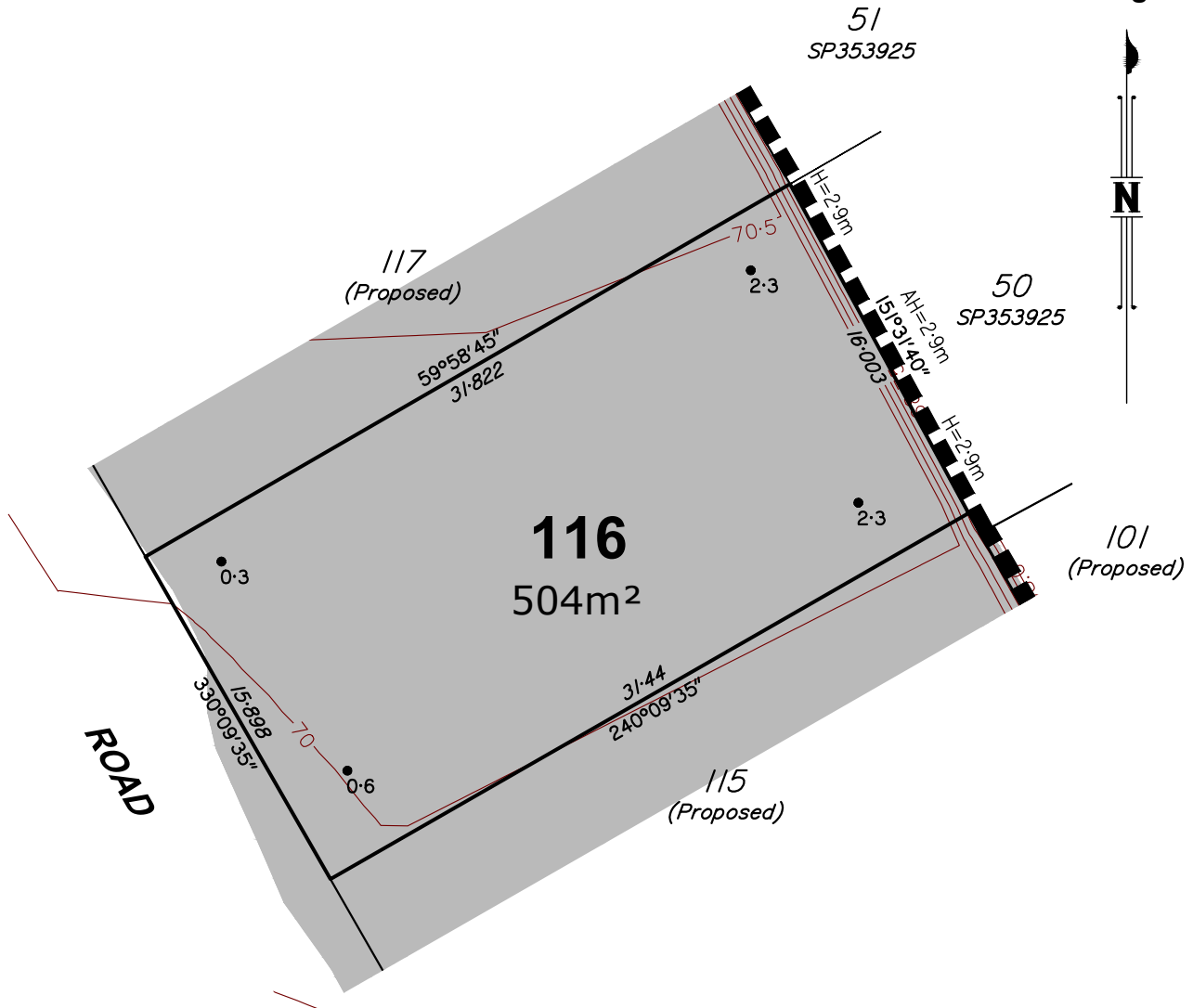
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A4



# Lot 116

Stage 2



## LEGEND

Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m Denotes retaining wall height

AH=1.7m Denotes retaining wall average height

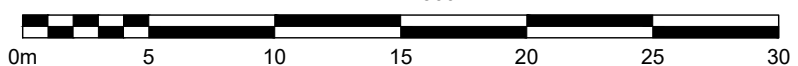
1.0 ● Denotes depth of fill

Scale 1:300

## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
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5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 116 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date



Title: **Disclosure Plan for**  
**Proposed Lot 116 on SP355766**  
Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

Client: **LENNIUM GROUP**

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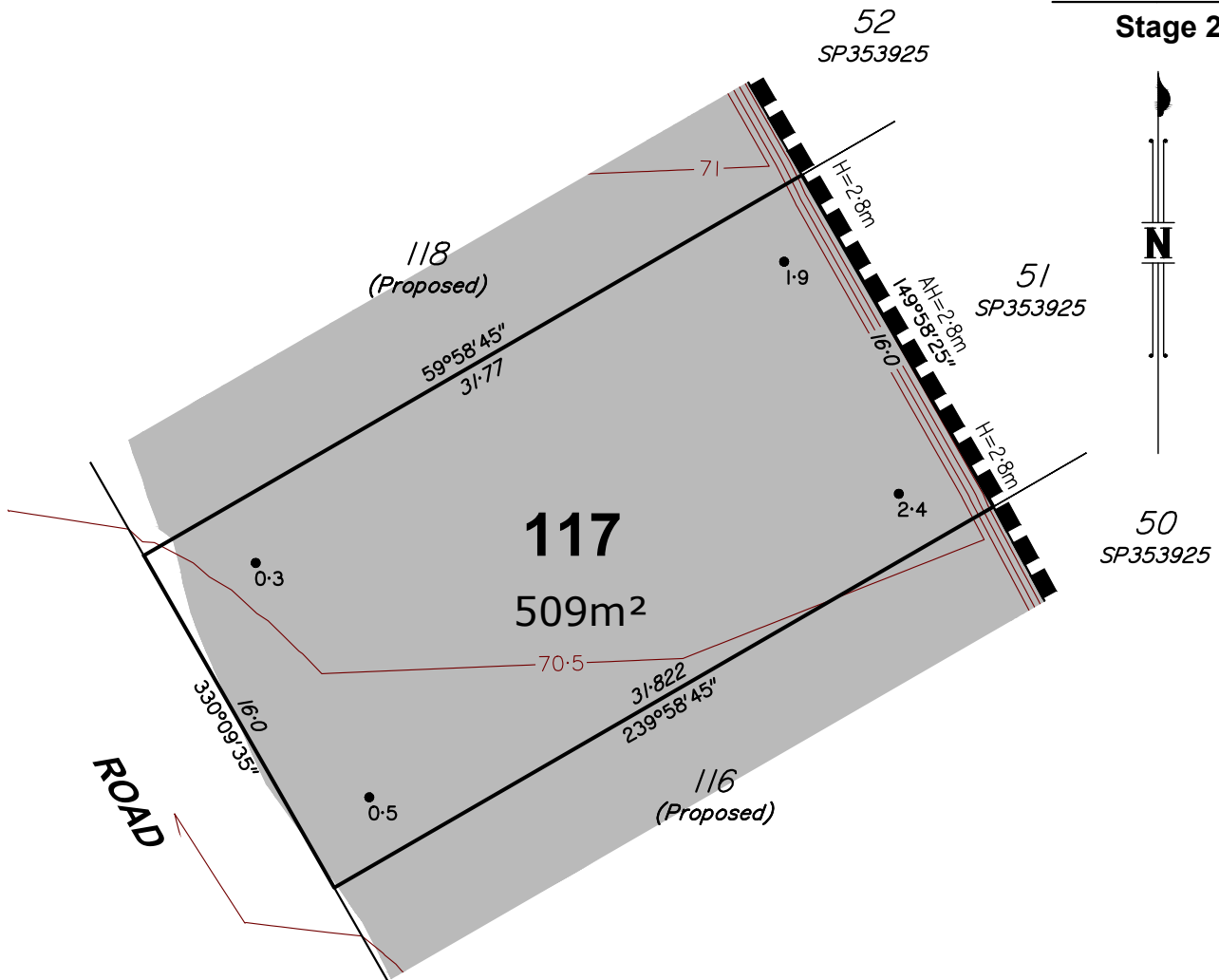
Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494_019 DIS		

A4



# Lot 117

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 117 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

2.4 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH=1.7m

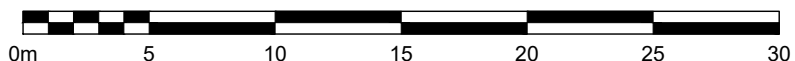
Denotes retaining wall average height

I=0

Denotes depth of fill

Scale 1:300

B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date



Title: **Disclosure Plan for**  
**Proposed Lot 117 on SP355766**  
Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

Client: **LENNIUM GROUP**



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[www.bennettandbennett.com.au](http://www.bennettandbennett.com.au)

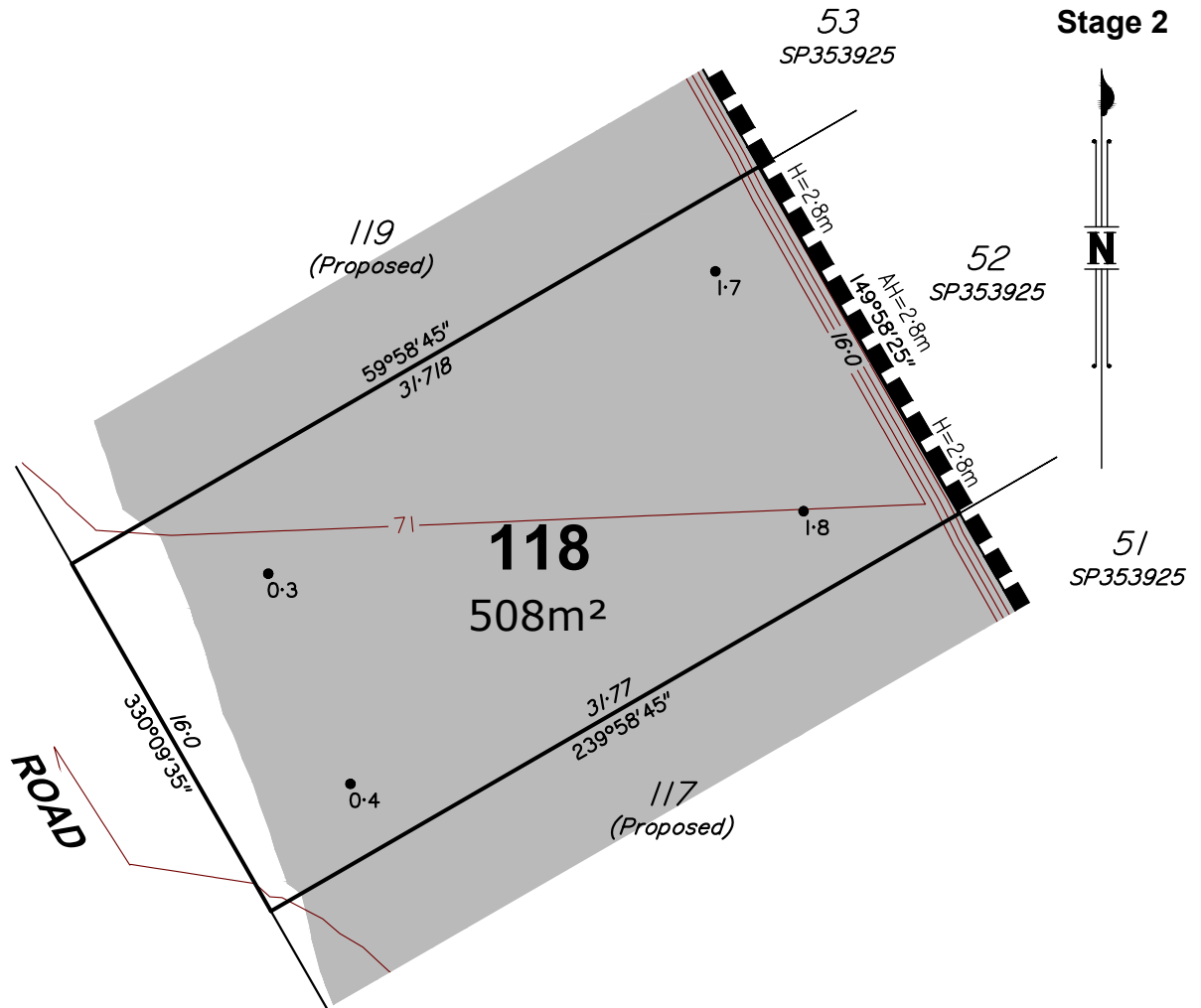
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Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494 019 DIS		

A4

# Lot 118

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 118 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

2.4 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

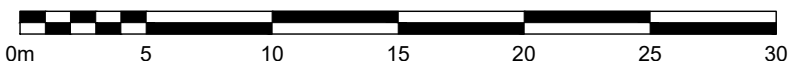
AH=1.7m

Denotes retaining wall average height

I=0 ●

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 118 on SP355766 Taylors Road, WALLOON Being Part of Lot 1 on SP350918

Client:

LENNIUM GROUP



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mail@bennettandbennett.com.au

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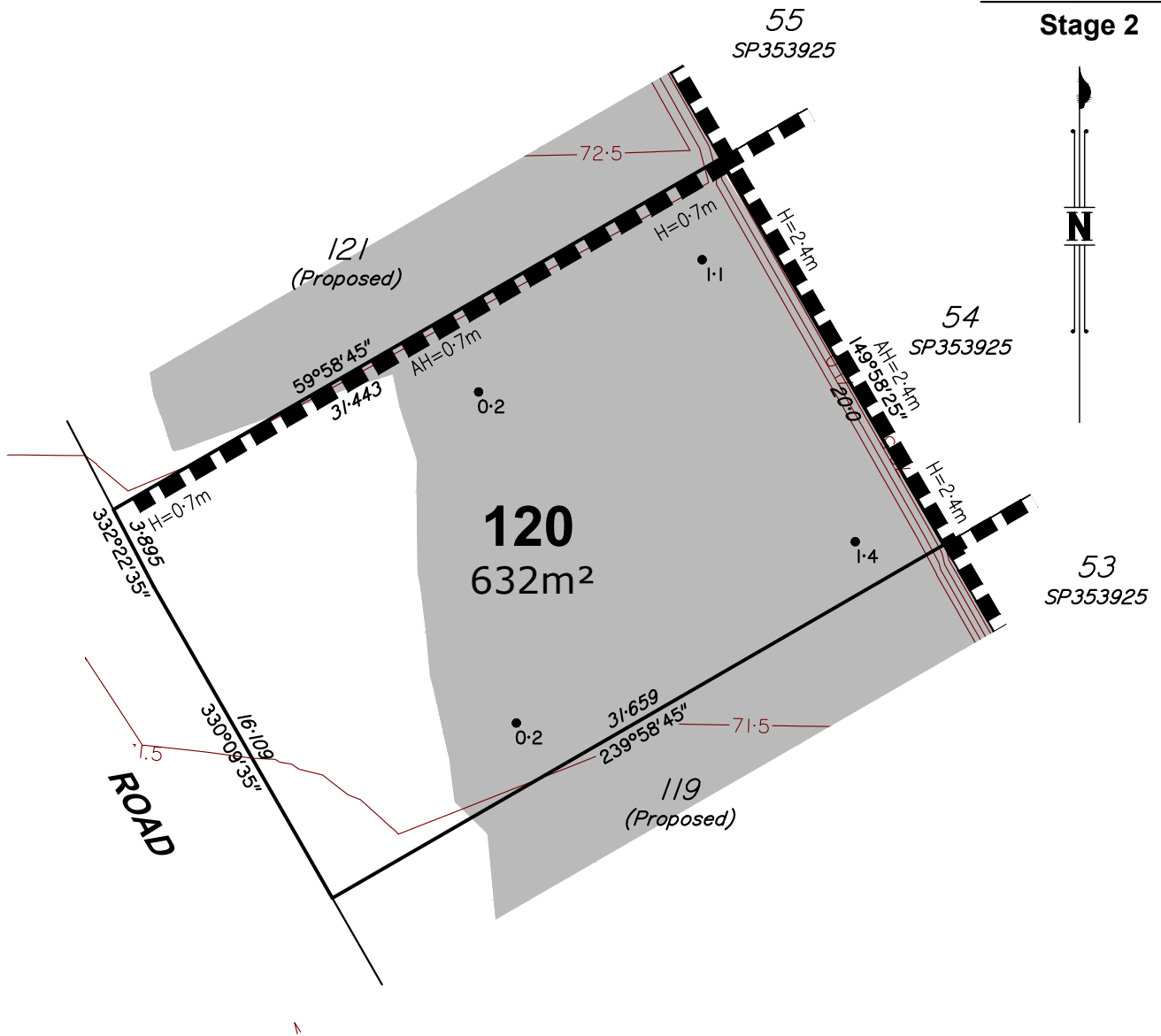
Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494_019 DIS		

A4



# Lot 120

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 120 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

2.4 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

Denotes retaining wall height

Denotes retaining wall average height

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 120 on SP355766

Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

LENNIUM GROUP

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494 019 DIS		



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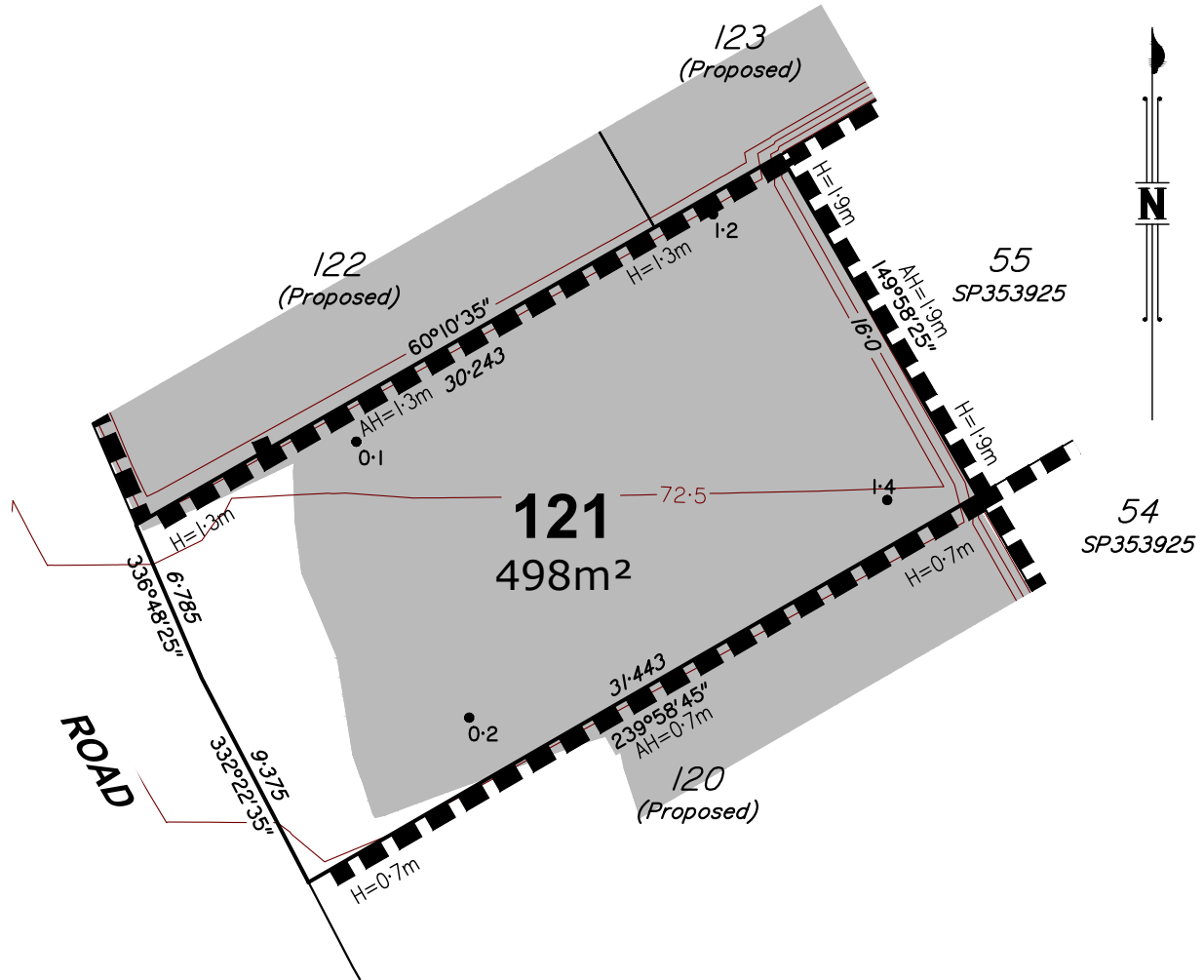
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# Lot 121

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 121 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH=1.7m

Denotes retaining wall average height

I=0 ●

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 121 on SP355766 Taylors Road, WALLOON Being Part of Lot 1 on SP350918

Client:

LENNIUM GROUP



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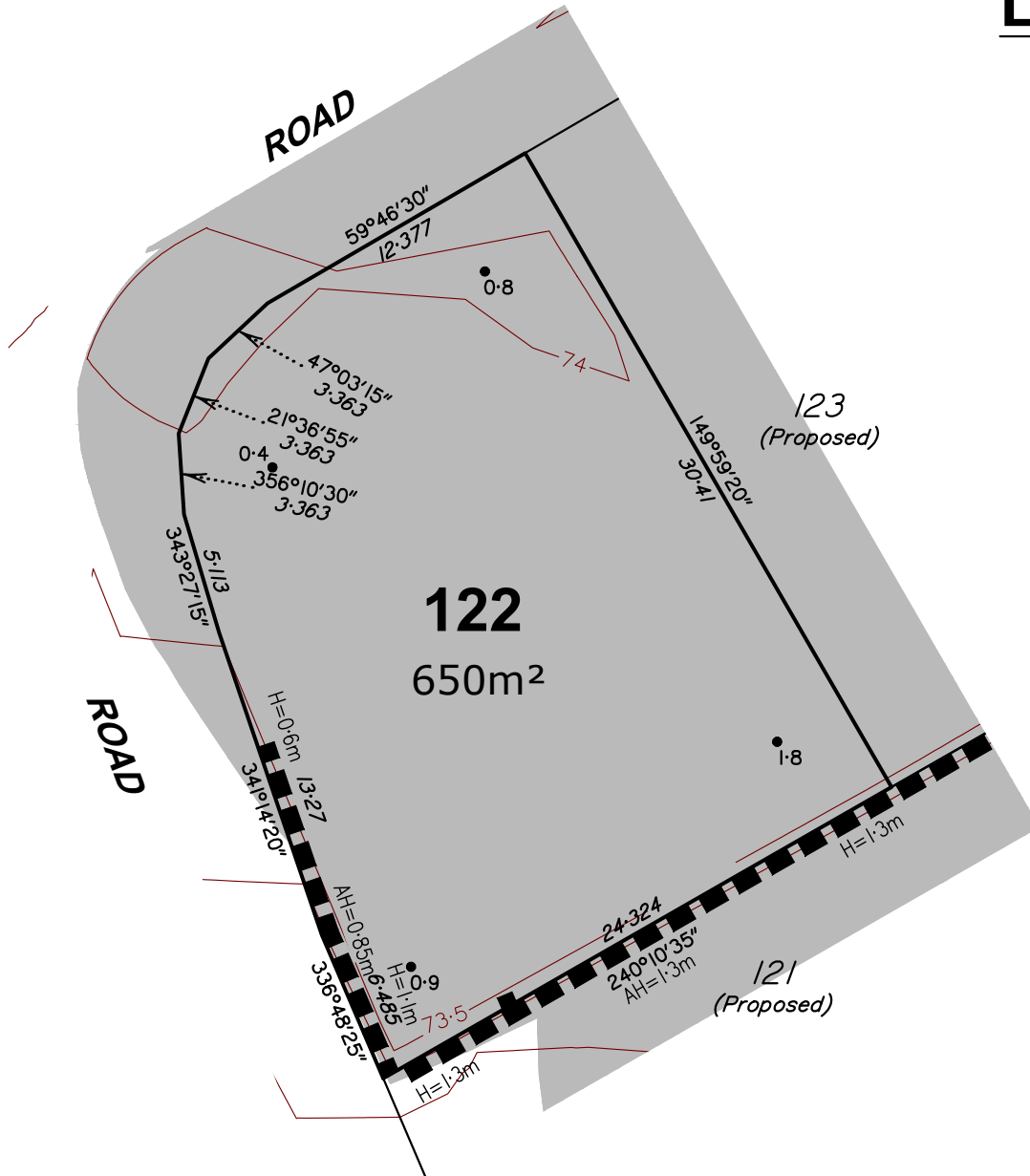
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494 019 DIS		

A4

# Lot 122

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 122 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH=1.7m

Denotes retaining wall average height

I=0 ●

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title: **Disclosure Plan for  
Proposed Lot 122 on SP355766**  
Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

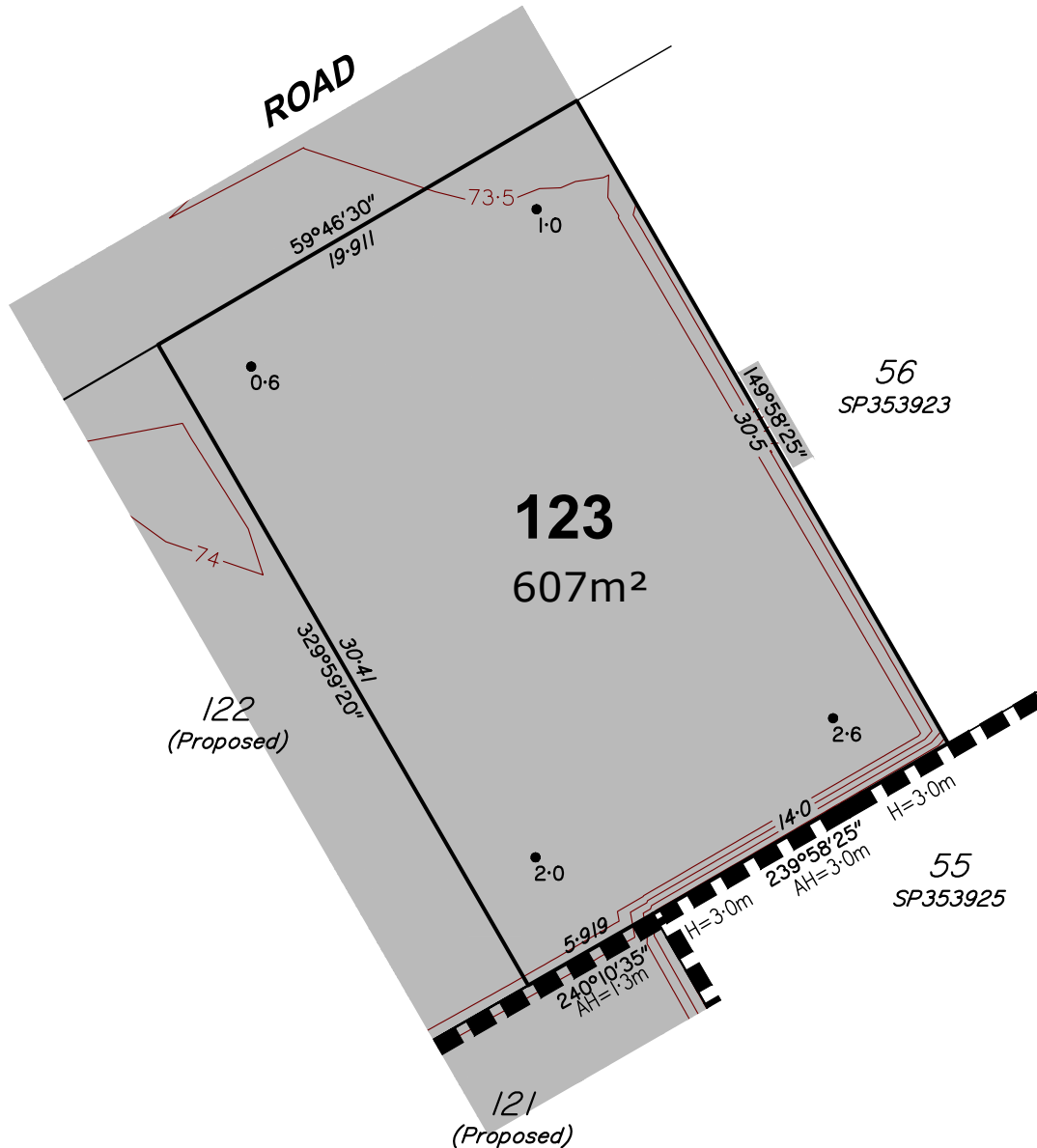
Client: **LENNIUM GROUP**

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494_019_DIS		

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# Lot 123

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 123 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH=1.7m

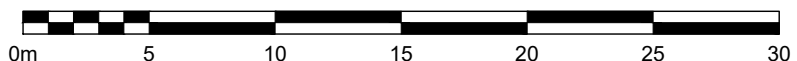
Denotes retaining wall average height

I=0

Denotes depth of fill

Scale 1:300

B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date



Title: **Disclosure Plan for**  
**Proposed Lot 123 on SP355766**  
Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **LENNIUM GROUP**

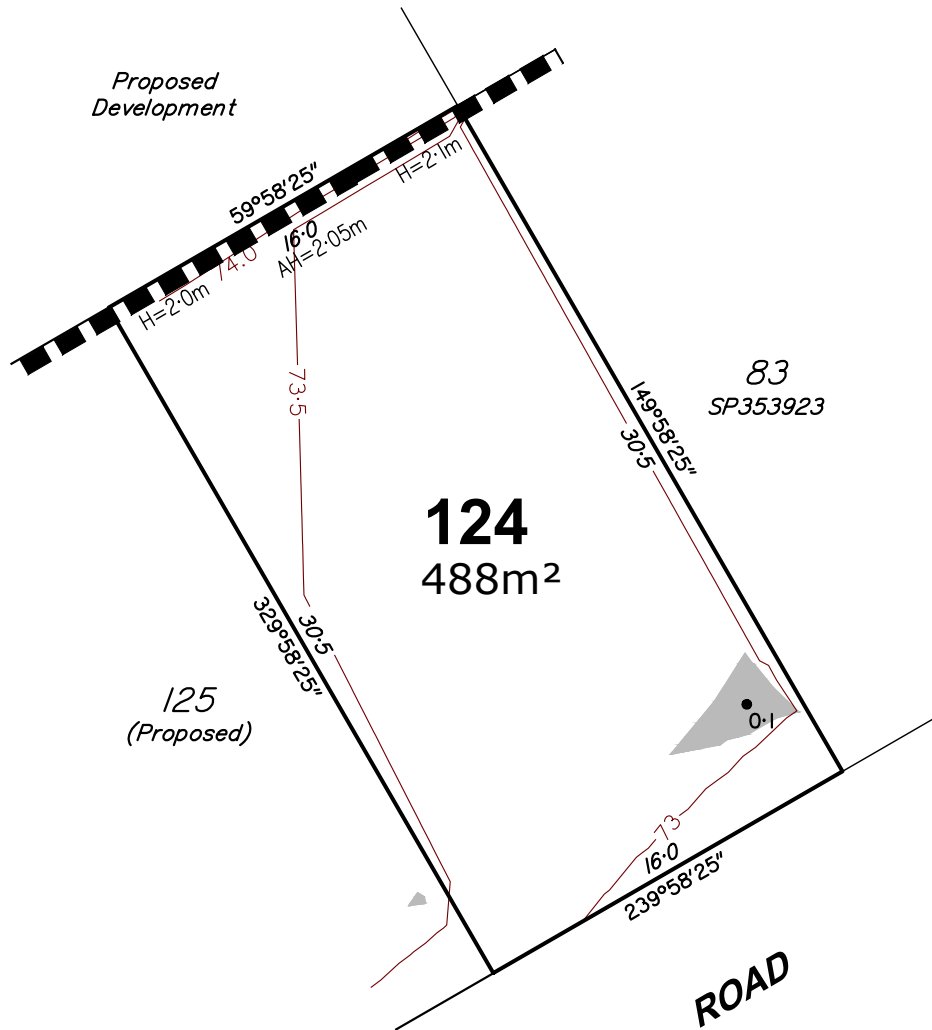
Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494_019 DIS		

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# Lot 124

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 124 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

2.4 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

AH=1.7m

1.0

Denotes retaining wall height

Denotes retaining wall average height

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 124 on SP355766 Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

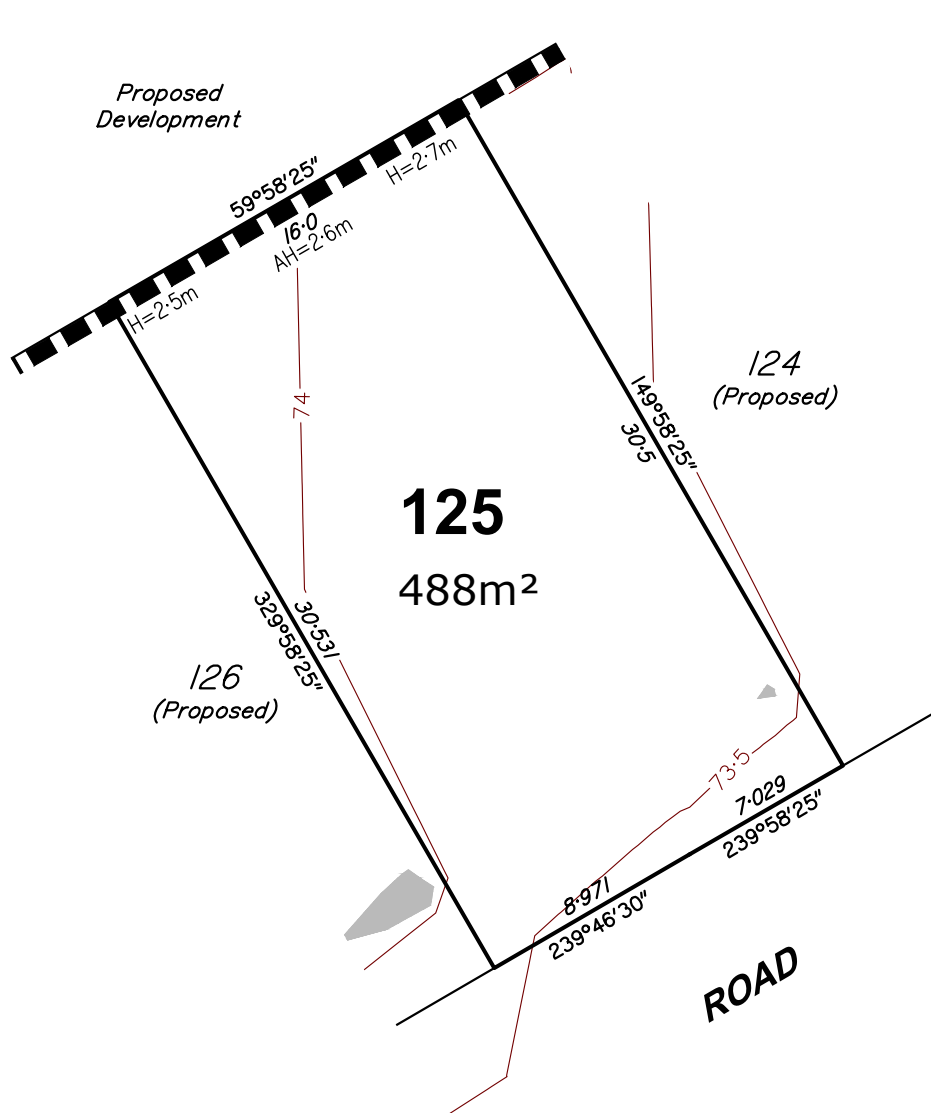
LENNIUM GROUP

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494_019 DIS		



# Lot 125

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 125 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

2.4 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

AH=1.7m

I=0 ●

Denotes retaining wall height

Denotes retaining wall average height

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 125 on SP355766

Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

LENNIUM GROUP

Locality: WALLOON

Local Gov: ICC

Prepared By: DJL

Surveyed By:

Approved: JHH

Date Created: 29/01/2025

Scale: 1:300

Comp File: 160494.project

Plan No: 160494\_019\_DIS



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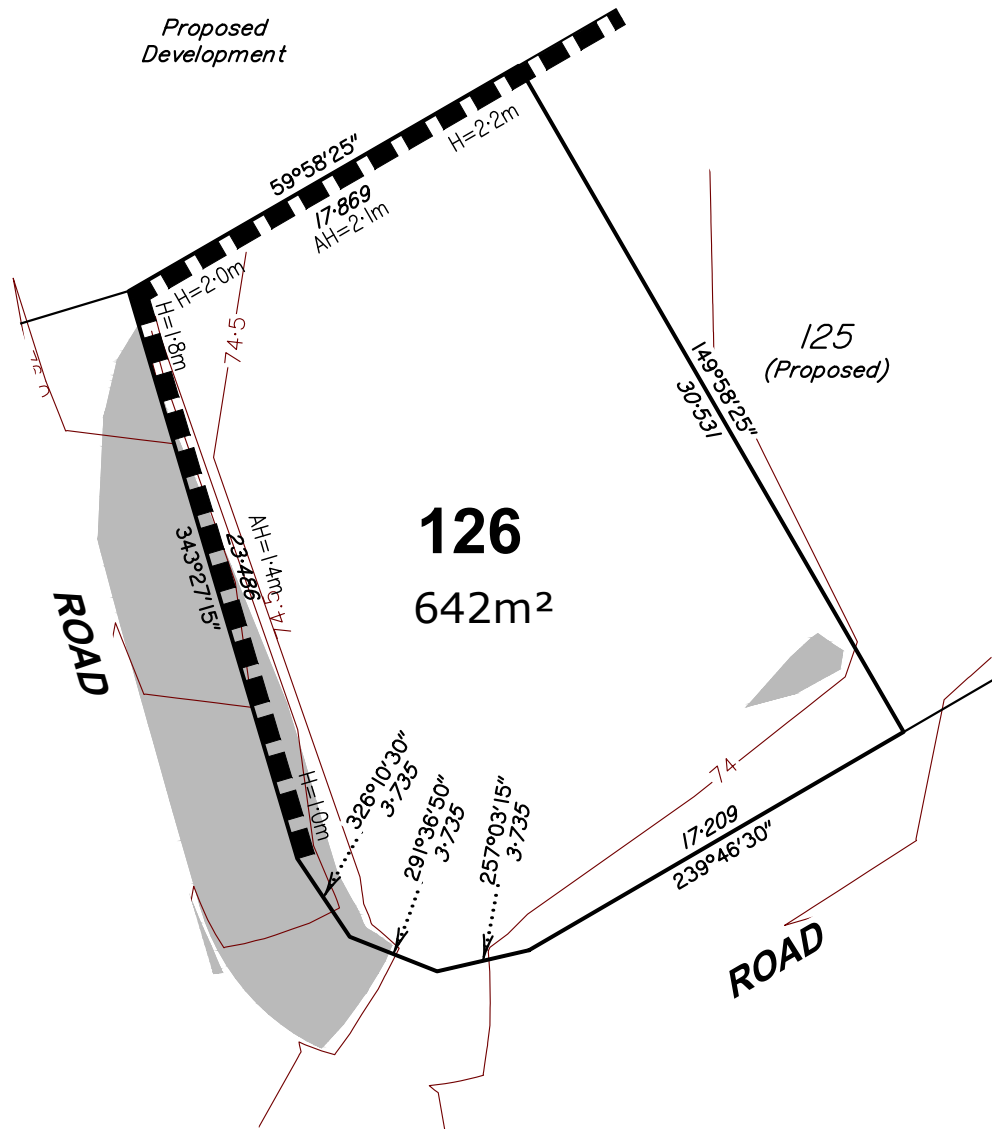
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A4

# Lot 126

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 126 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH=1.7m

Denotes retaining wall average height

I=0

Denotes depth of fill

Scale 1:300

B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date



Title: **Disclosure Plan for**  
**Proposed Lot 126 on SP355766**  
Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

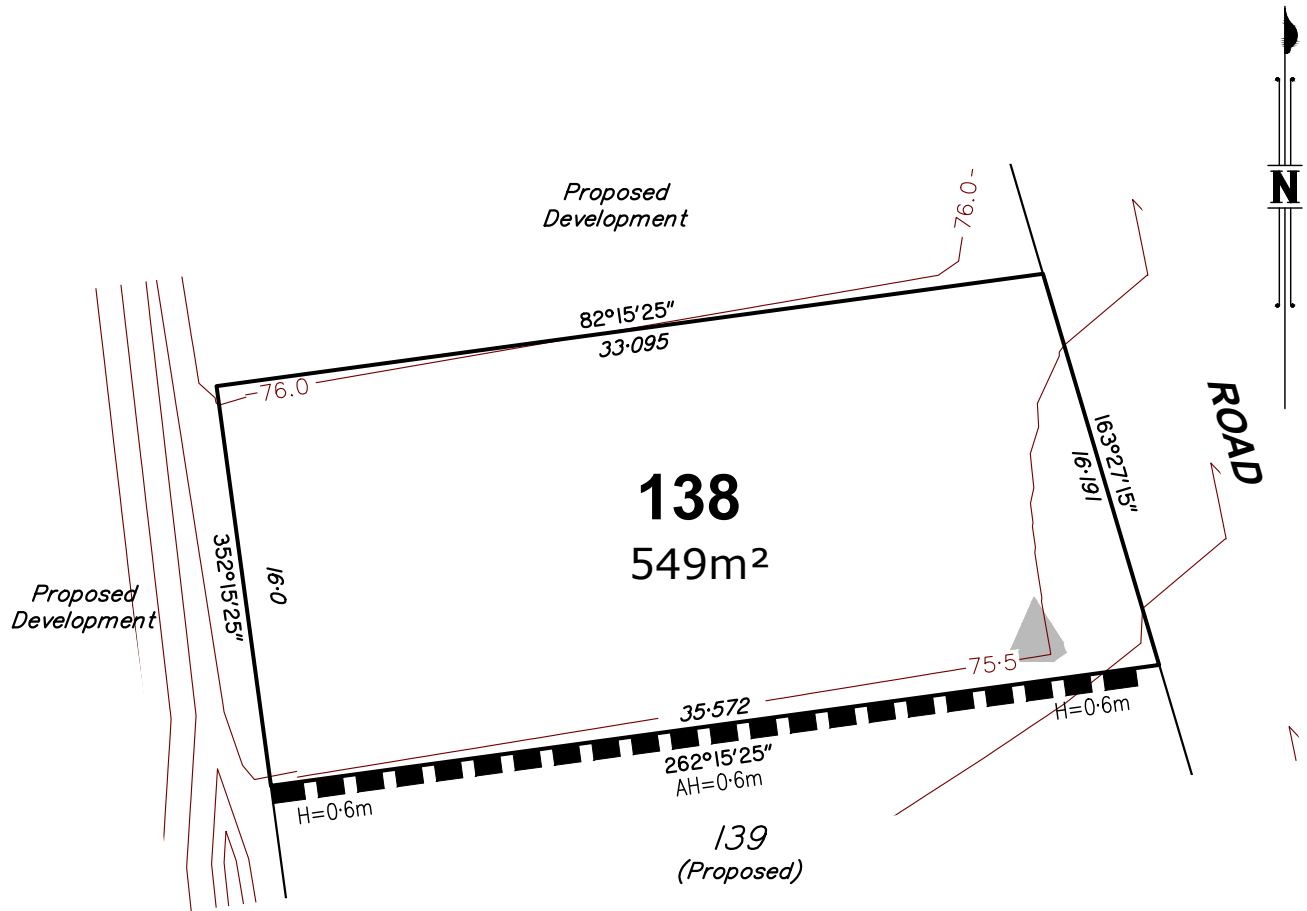
Client: **LENNIUM GROUP**

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494 019 DIS		

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# Lot 138

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 138 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

24 Design Contours

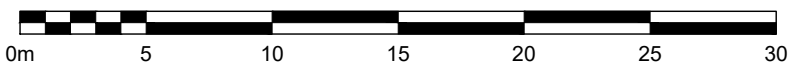
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m Denotes retaining wall height

AH=1.7m Denotes retaining wall average height

1.0 Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 138 on SP355766

Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

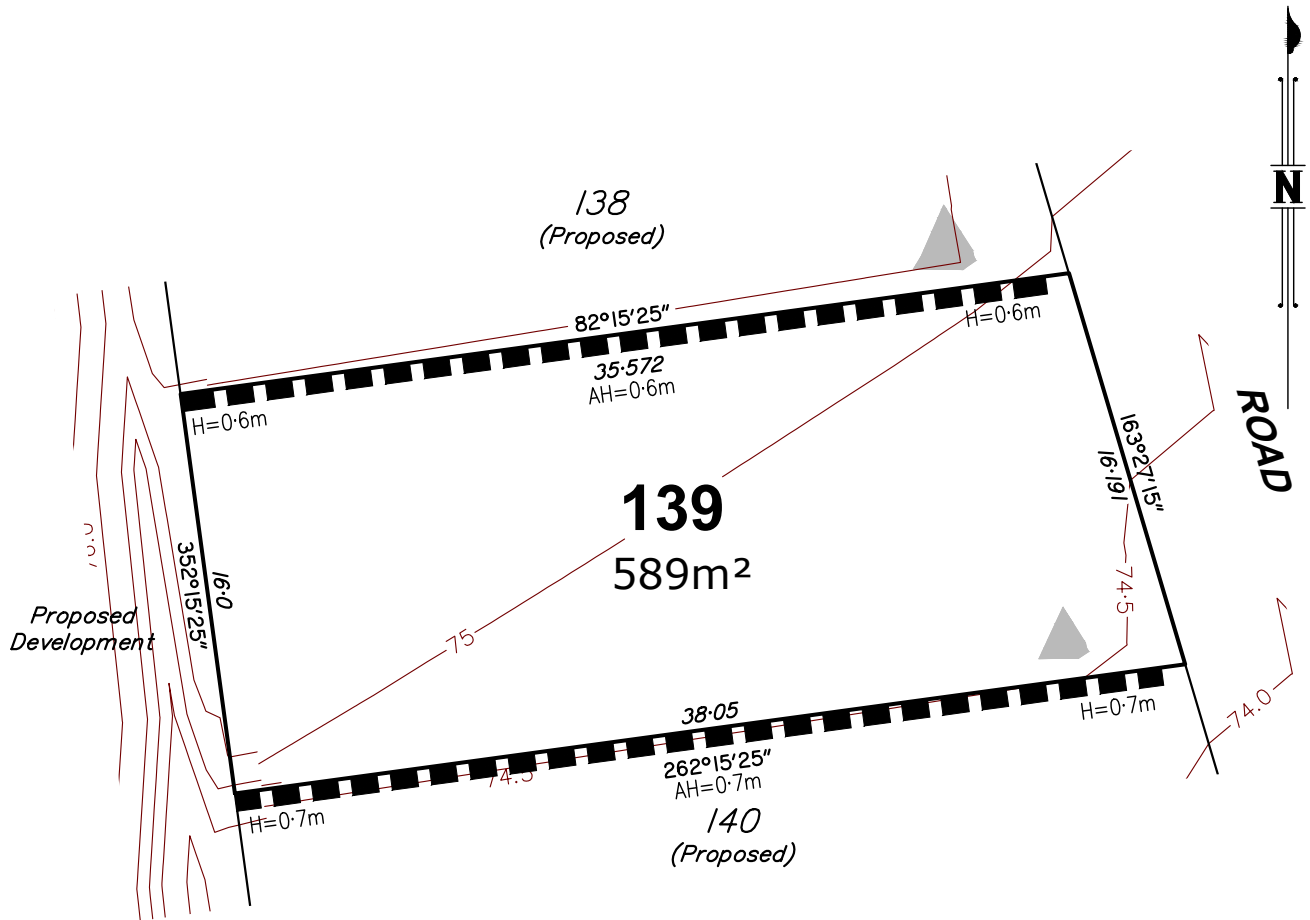
LENNIUM GROUP

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494_019_DIS		

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# Lot 139

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 139 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

— 2.4 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH=1.7m

Denotes retaining wall average height

I-0 ●

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 139 on SP355766

Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

LENNIUM GROUP

Locality: WALLOON

Local Gov: ICC

Prepared By: DJL

Surveyed By:

Approved: JHH

Date Created: 29/01/2025

Scale: 1:300

Comp File: 160494.project

Plan No: 160494\_019\_DIS



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Ph: (07) 5631 8000

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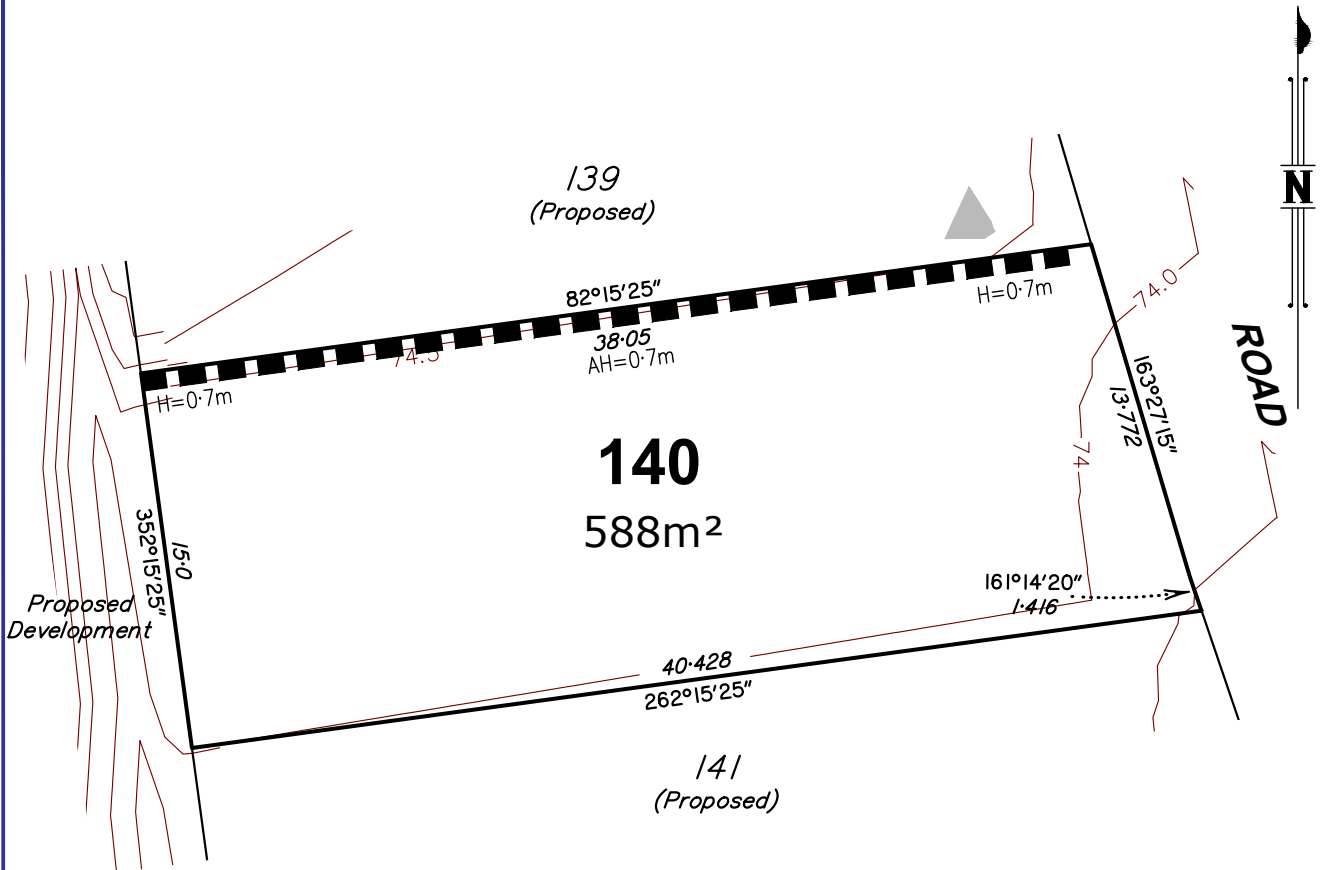
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A4

# Lot 140

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 140 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

— 2.4 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

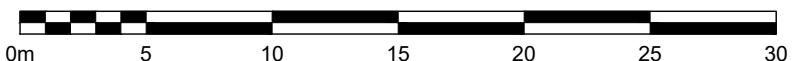
AH=1.7m

Denotes retaining wall average height

1.0 ●

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 140 on SP355766 Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

LENNIUM GROUP

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494_019 DIS		



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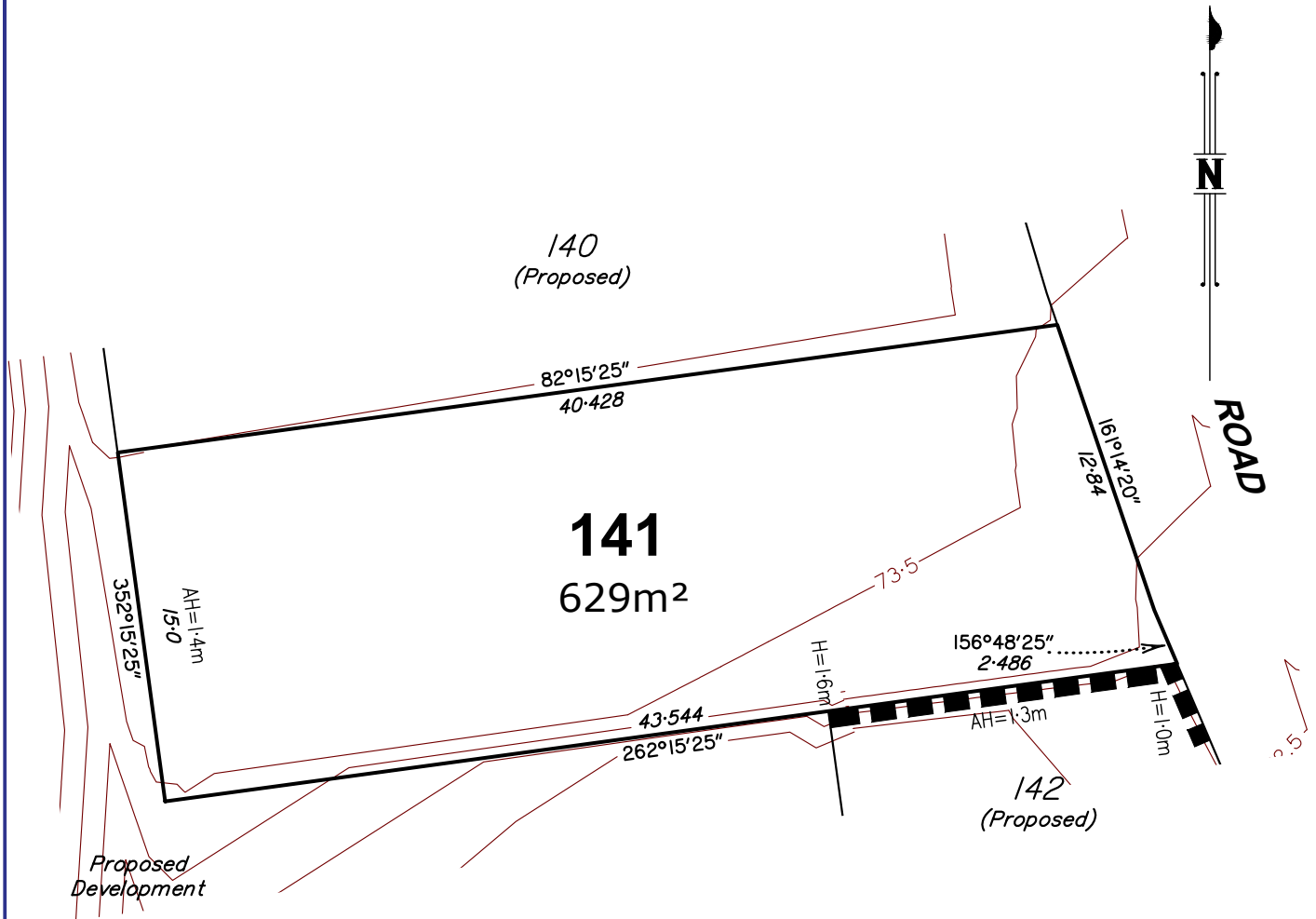
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A4

# Lot 141

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 141 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

2.4 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m Denotes retaining wall height

AH=1.7m Denotes retaining wall average height

1.0 Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 141 on SP355766

Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

LENNIUM GROUP

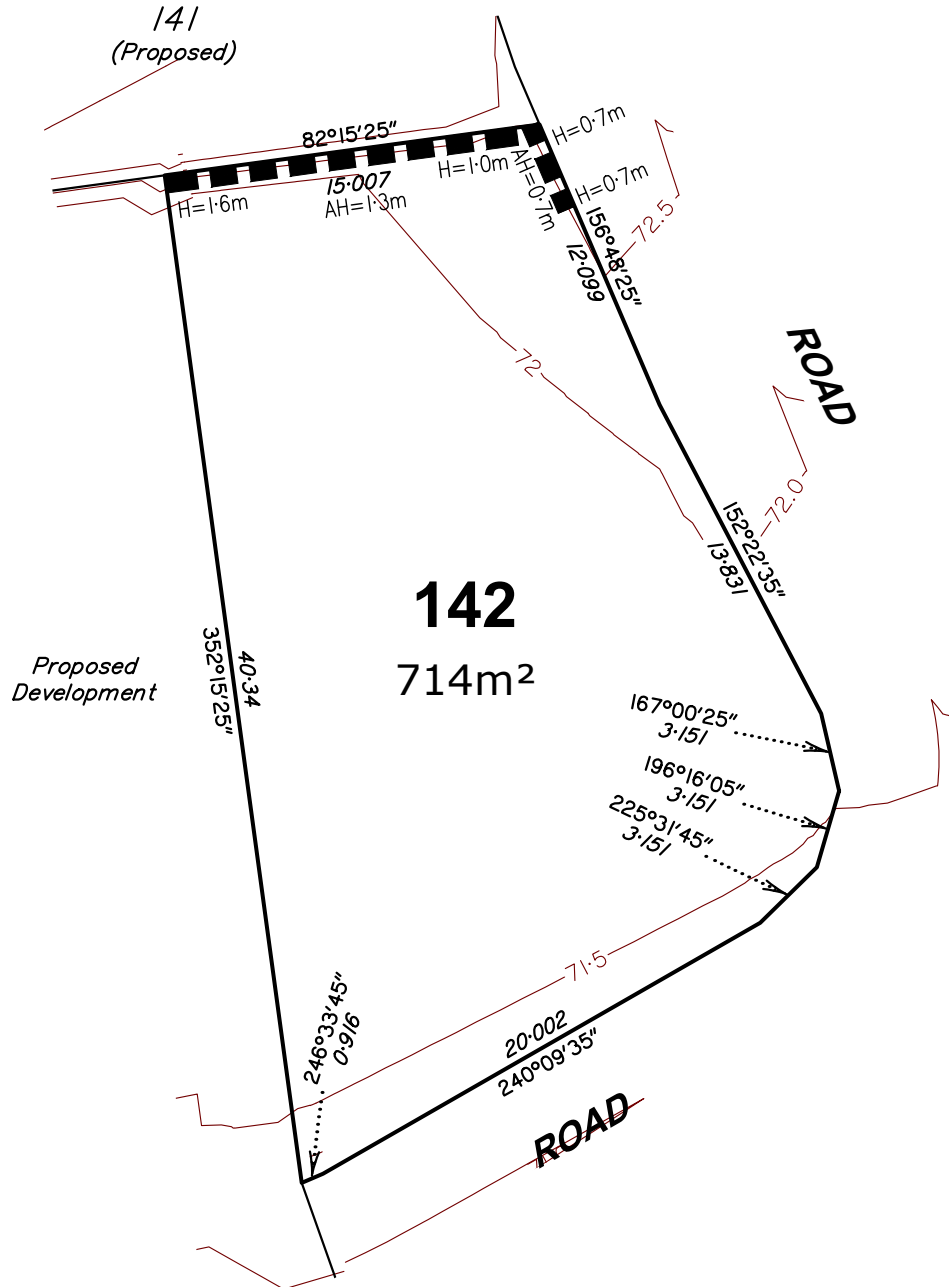
Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494 019 DIS		

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A4

# Lot 142

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 142 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

Denotes retaining wall height

Denotes retaining wall average height

Denotes depth of fill

Scale 1:300

B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date



Title: **Disclosure Plan for**  
**Proposed Lot 142 on SP355766**  
Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

Client: **LENNIUM GROUP**



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This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

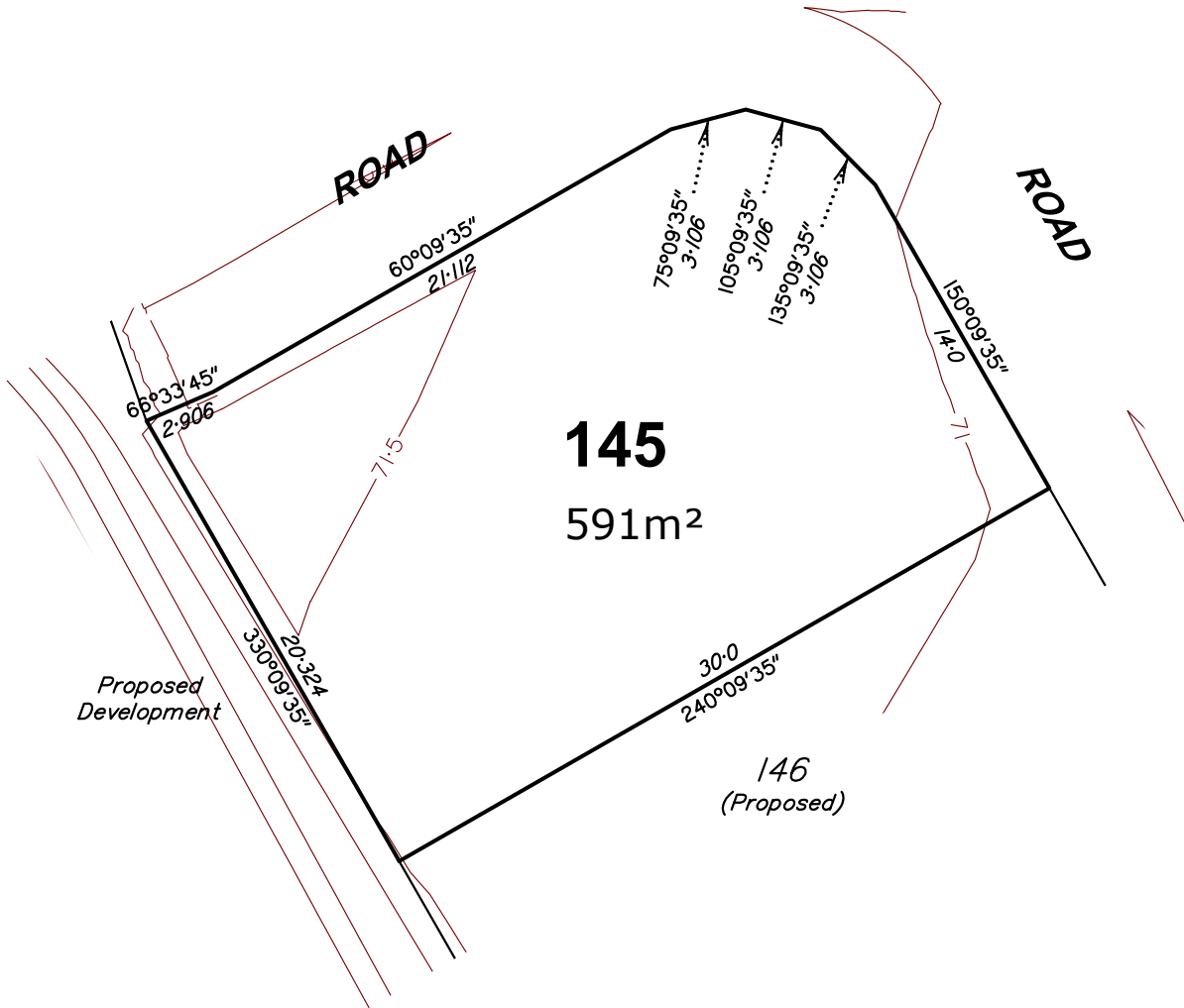
Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494_019 DIS		

A4



# Lot 145

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 145 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

■ ■ ■

AH=1.7m

I=0 ●

Denotes retaining wall height

Denotes retaining wall average height

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 145 on SP355766

Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

LENNIUM GROUP

Locality: WALLOON

Local Gov: ICC

Prepared By: DJL

Surveyed By:

Approved: JHH

Date Created: 29/01/2025

Scale: 1:300

Comp File: 160494.project

Plan No: 160494\_019\_DIS



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Ph: (07) 5631 8000  
mail@bennettandbennett.com.au

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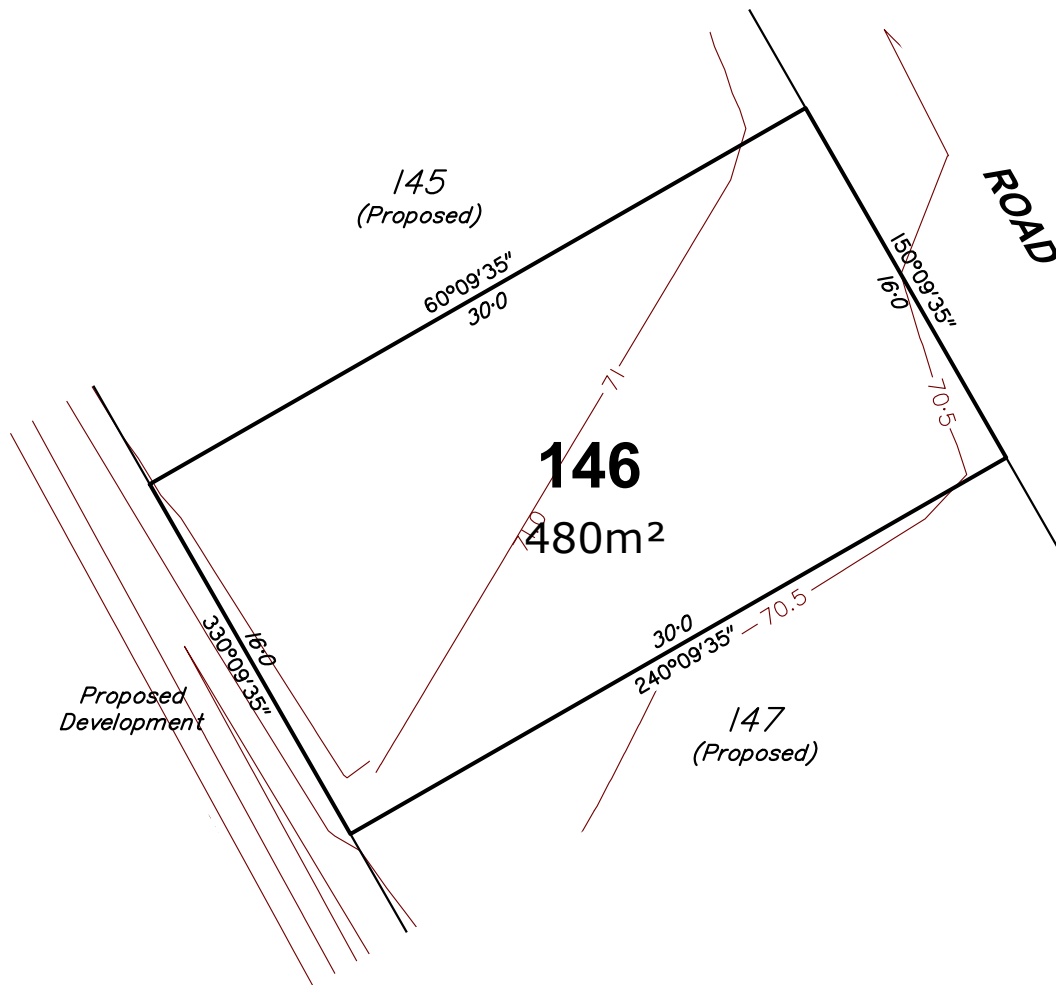
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A4



# Lot 146

Stage 2



#### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 146 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

#### LEGEND

Approximate Fill Area

2.4 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

AH=1.7m

Denotes retaining wall average height

I=0 ●

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 146 on SP355766

Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

LENNIUM GROUP

Locality: WALLOON

Local Gov: ICC

Prepared By: DJL

Surveyed By:

Approved: JHH

Date Created: 29/01/2025

Scale: 1:300

Comp File: 160494.project

Plan No: 160494\_019\_DIS



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Ph: (07) 5631 8000  
mail@bennettandbennett.com.au

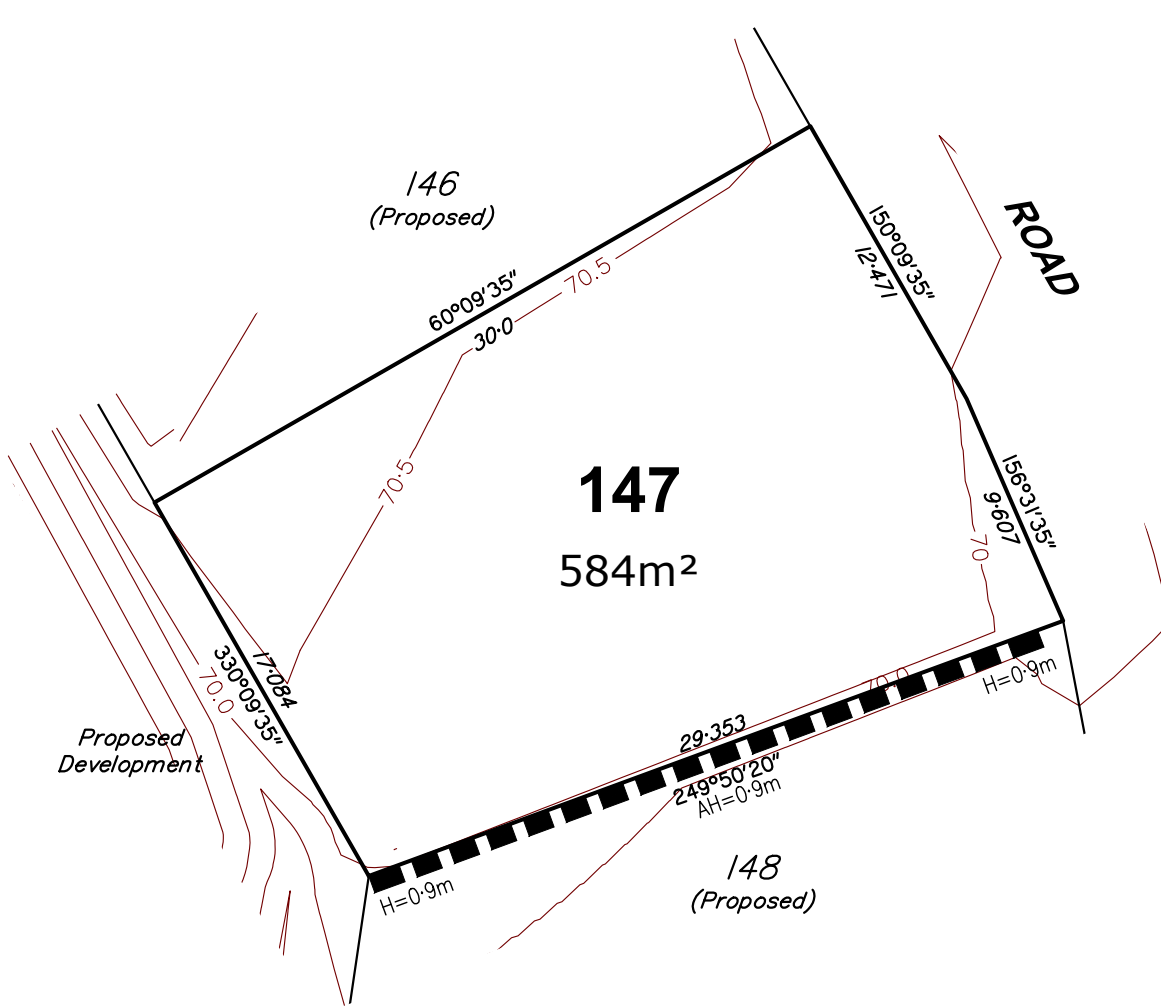
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# Lot 147

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 147 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m

Denotes retaining wall height

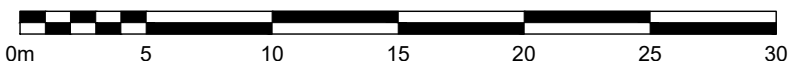
AH=1.7m

Denotes retaining wall average height

1.0 ●

Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 147 on SP355766

Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

LENNIUM GROUP

Locality: WALLOON

Local Gov: ICC

Prepared By: DJL

Surveyed By:

Approved: JHH

Date Created: 29/01/2025

Scale: 1:300

Comp File: 160494.project

Plan No: 160494\_019\_DIS



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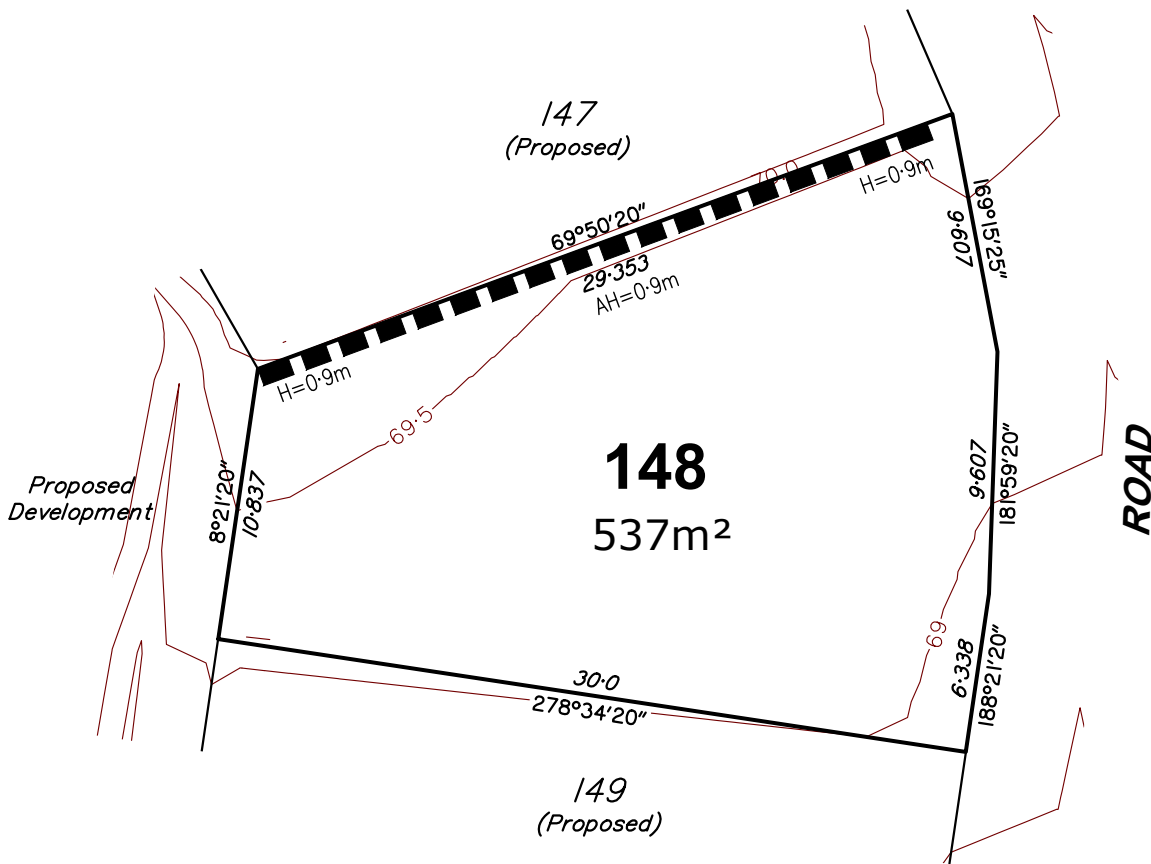
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A4

# Lot 148

Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 148 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.

H=0.77m Denotes retaining wall height

AH=1.7m Denotes retaining wall average height

1.0 Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 148 on SP355766 Taylors Road, WALLOON Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

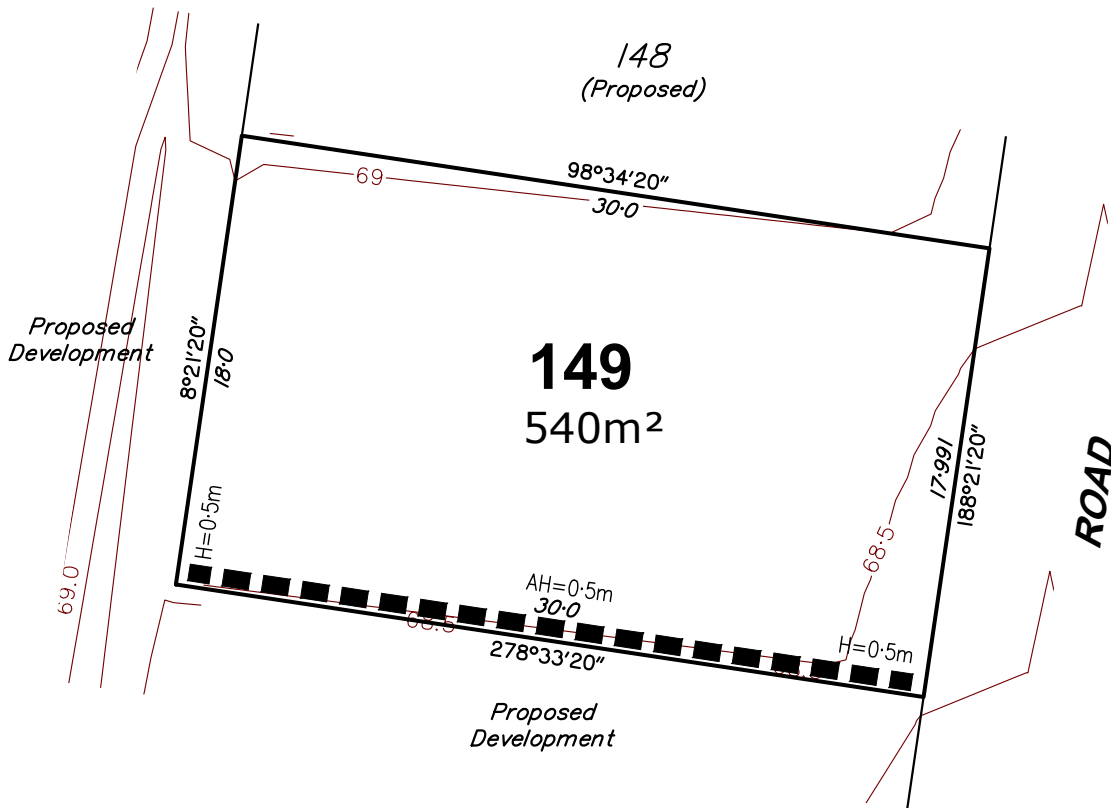
LENNIUM GROUP

Locality:	WALLOON		
Local Gov:	ICC	Prepared By:	DJL
Surveyed By:		Approved:	JHH
Date Created:	29/01/2025	Scale:	1:300
Comp File:	160494.project		
Plan No:	160494_019 DIS		

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# Lot 149


Stage 2



## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM67024, RL 67.357m AHD.
3. Contour Interval : 0.5m
4. All dimensions and areas are subject to final survey and approval by ICC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for Lennium Group for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 149 on proposal plan BRSS7381-002-04-02 Rev 07/04/2022 which accompanied the Subdivision Application and was approved by Ipswich City Council.
8. The compaction of earth fill will be undertaken as advised by SMEC and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

## LEGEND

 Approximate Fill Area


 24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 30032066-02-100 to 30032066-02-602 provided by SMEC.


H=0.77m

 Denotes retaining wall height

AH=1.7m

 Denotes retaining wall average height

I=0

 Denotes depth of fill

Scale 1:300



B	Updates	BRJ	31/07/2025
A	Original Issue	DJL	29/01/2025
Issue	Revision	Int	Date

Title:

## Disclosure Plan for Proposed Lot 149 on SP355766

Taylors Road, WALLOON  
Being Part of Lot 1 on SP350918

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

LENNIUM GROUP

Locality: WALLOON

Local Gov: ICC

Prepared By: DJL

Surveyed By:

Approved: JHH

Date Created: 29/01/2025

Scale: 1:300

Comp File: 160494.project

Plan No: 160494\_019\_DIS



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