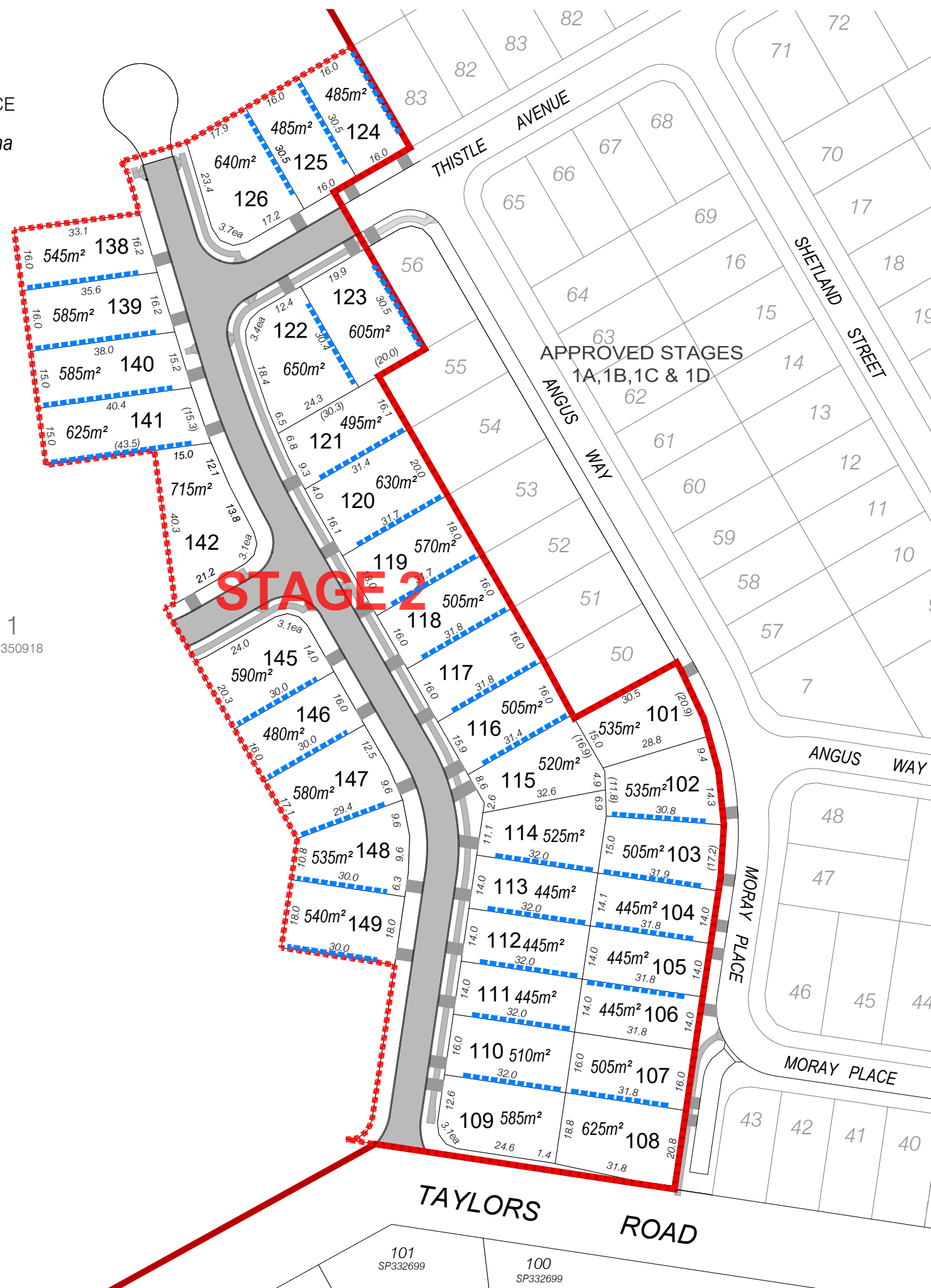


901
BALANCE
87.603ha



NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN TITLES QUEENSLAND



HIGHLAND

WALLOON

DESIGN AND SITING CONTROLS

SITE COVER: MAXIMUM 60%

VARIATION OF FRONTAGE SETBACK: *

FOR SINGLE RESIDENTIAL, THE MINIMUM ROAD SETBACK IS:

3.5m TO BUILDING LINE/ DWELLING WALL TO PRIMARY FRONT AGE

3.0m TO BUILDING LINE/ DWELLING WALL TO SECONDARY FRONTAGE

4.9m TO GARAGE DOOR

LOT SIDE & REAR SETBACK: *

ROAD FRONTAGE (m)	SIDE AND REAR BOUNDARY CLEARANCES	
	HEIGHT IN METRES	
	4.5 OR LESS	4.5 TO 7.5
15.000 OR GREATER	1.500m	2.000m
14.501-15.000	1.425m	1.900m
14.001-14.500	1.350m	1.800m
13.501-14.000	1.275m	1.700m

* Minimum setback. Actual setback may be greater, subject to lot constraints, characteristics and levels. Minimum setback may not be possible on all lots.

**Side and rear boundary clearance means:

(a) for a building or structure other than a swimming pool, the shortest distance measured horizontally from the outermost projection of the building or structure to the vertical projection of the boundary of the lot.

(b) for a swimming pool, the shortest distance measured horizontally from the water's edge to the vertical projection of a boundary of the lot.

CLIENT

LENNIUM GROUP

PROJECT
HIGHLAND WALLOON DESIGN GUIDELINES
PLAN OF DEVELOPMENT
LOT 1 ON SP350918
213 Taylors Road, Walloon

STAGE 2

LOCAL AUTHORITY
IPSWICH CITY COUNCIL

NOTES





(i) This plan forms part of the Highland Walloon Design Guidelines and is subject to change as determined by Lennium Group and or the Highland Walloon Design Review Committee. The intention of this plan and the Home Design Guidelines is to ensure that the built outcomes for each house integrates with the design and performance outcomes for Highland Walloon.

MNG LANDPARTNERS accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii) and (iii) or hereof.

(ii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary.

(iii) This plan may not be copied unless these notes are included.

LEGEND

-  Subject Site
-  Proposed Stage Boundary
-  Built to Boundary Wall*
-  Driveway Location

*Built-to-boundary walls are optional, however if a Built -to-boundary wall is proposed it must be constructed on the side indicated.

SCALE BAR



SCALE 1:1250 @ A3



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Perth | Brisbane | Melbourne | Sydney | Broome | South West WA

LEVEL DATUM

LEVEL ORIGIN

CONTOUR INTERVAL

COMPUTER FILE

DRAWN	NME	DATE	27/08/2025
CHECKED	TKW	DATE	27/08/2025
APPROVED	RPT	DATE	27/08/2025

UDN

BRSS7381-002-66-4